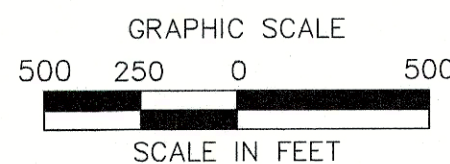


VICINITY MAP

SCALE: 1"=500'



ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20240652552 SUBMITTED ON 03/05/2024.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:

PENNSYLVANIA AMERICAN WATER
852 WESLEY DRIVE
MECHANICSBURG, PA 17055
CONTACT: JEFF DREW
EMAIL: jeff.drew@amwater.com

FRONTIER COMMUNICATIONS OF PA INC
300E LAIRD STREET
WILKES BARRE, PA 18702
CONTACT: MICHAEL NAVICH
EMAIL: michael.navich@ftr.com

VERIZON PENNSYLVANIA LLC
1026 HAY STREET
PITTSBURGH, PA 15221
CONTACT: DEBORAH BARUM
EMAIL: deborah.d.della@verizon.com

LOWER ALLEN TOWNSHIP AUTHORITY
120 LIMEKILN ROAD
NEW CUMBERLAND, PA 17070
CONTACT: BRIAN KAUFFMAN
EMAIL: bkauffman@atwp.org

LOWER ALLEN TOWNSHIP
2233 GETTYSBURG ROAD
CAMP HILL, PA 17011
CONTACT: BRYCE THOMPSON
EMAIL: bthompson@atwp.org

PPL ELECTRIC UTILITIES CORPORATION
437 BLUE CHURCH ROAD
PAXINOS, PA 17860
CONTACT: DOUG HAUP
EMAIL: dhaup@pplweb.com

COMCAST CABLEVISION
4601 SMITH ST
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: mike_sweigard@cable.comcast.com

UGI UTILITIES INC
1301 AIP DR
MIDDLETOWN, PA 17057
CONTACT: GEOFFREY FERGUSON
EMAIL: gferguson@ugl.com

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ADD ON SHEETS

- EX.01 FIRE TRUCK TURNING PLAN (1 SHEET)
EX.02 OVERALL PARKING PLAN (1 SHEET)

CAD FILE: G2400139.00

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR TRU BY HILTON ROSSMOYNE BUSINESS CENTER

RITTER ROAD LOWER ALLEN TOWNSHIP CUMBERLAND COUNTY, PENNSYLVANIA

PREPARED BY:



2601 MARKET PLACE, SUITE 350
HARRISBURG, PA 17110
(717) 651-9850
(717) 651-9585 FAX

PREPARED FOR:



HIGH HOTELS, LTD
1853 WILLIAM PENN WAY
LANCASTER, PA 17605-0008
(717) 209-4092
(717) 209-4488 FAX

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.
APPROVED THE ____ DAY OF ____, 20__.

CONDITIONS OF APPROVAL COMPLETED THIS ____ DAY OF ____, 20__.

PRESIDENT

SECRETARY

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS ____ DAY OF ____, 20__.

INSTRUMENT NO. ____

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY
AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

GREGORY CONDON, P.L.S.
REG. NO. P.L.S. SU32480E

MARCH 6, 2025

DATE



LOWER ALLEN TOWNSHIP ACT 167 STORMWATER DESIGN CERTIFICATION

_____, DESIGN ENGINEER, ON THIS DATE _____,
HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA
OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATION

REVIEWED THIS ____ DAY OF ____, 20__ BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR OF PLANNING

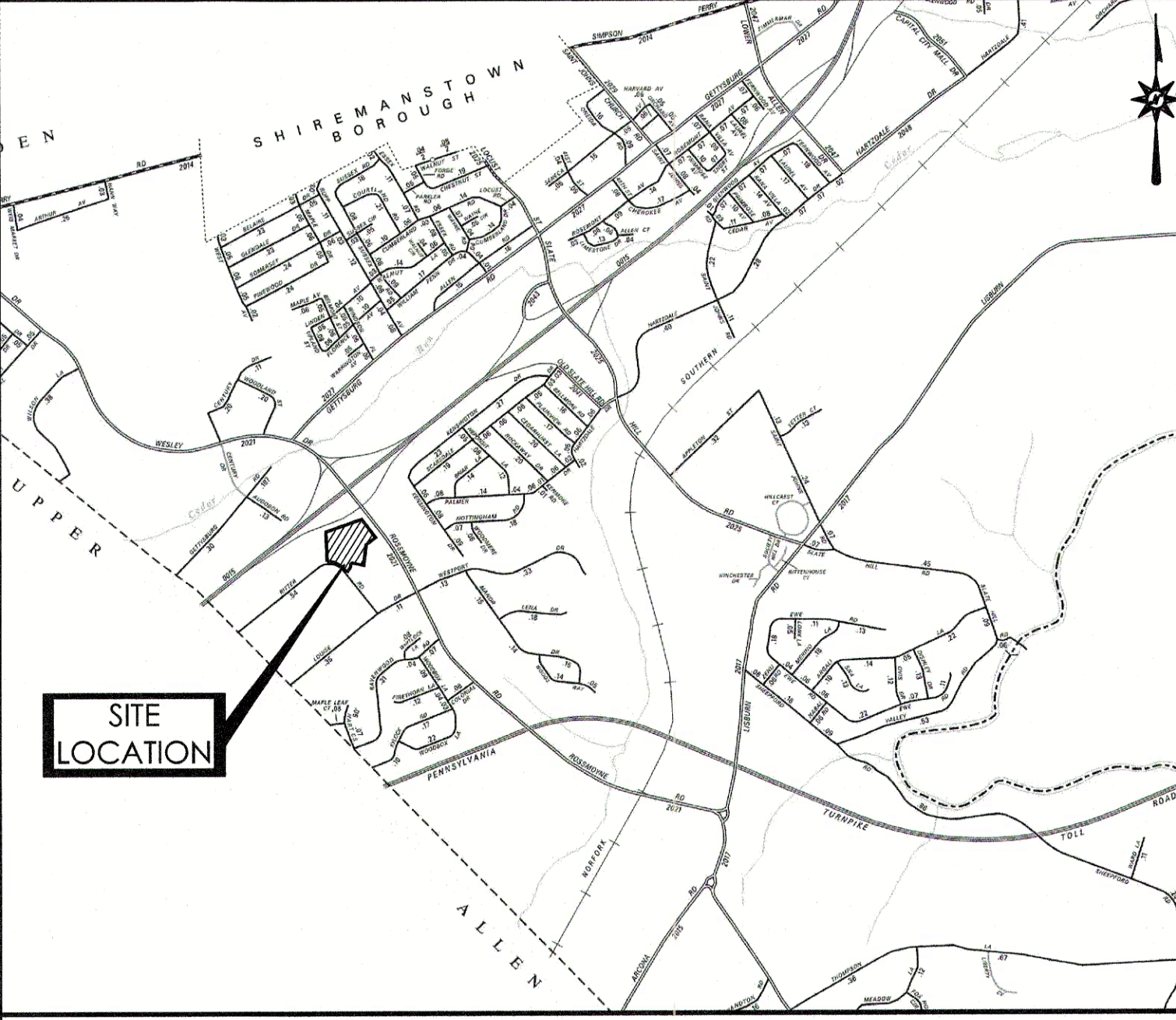
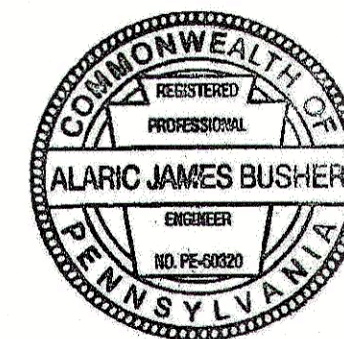
ENGINEER'S CERTIFICATION

I, ALARIC J. BUSHER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE
COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY
KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ALARIC J. BUSHER, P.E.
REG. NO. PE60320

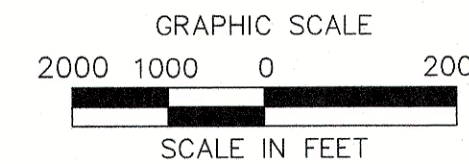
MARCH 6, 2025

DATE



LOCATION MAP

SCALE: 1"=2000'



ACKNOWLEDGEMENT OF STORMWATER MANAGEMENT FACILITIES

I ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs TO BE PERMANENT FIXTURES CAN
BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY (SECTION
184-22.E.11)

HIGH HOTELS, LTD

ACKNOWLEDGEMENT OF EROSION AND SEDIMENT POLLUTION CONTROL PLAN

I HEREBY CERTIFY THAT THERE WILL BE NO EARTH DISTURBANCE FOR CONSTRUCTION PURPOSES UNTIL AFTER
FINAL PLAN APPROVAL FROM THE TOWNSHIP AND NPDES PERMIT APPROVAL FROM PADEP IS ACQUIRED.

HIGH HOTELS, LTD

WAIVERS REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF
THE TOWNSHIP OF LOWER ALLEN SUBDIVISION AND LAND
DEVELOPMENT ORDINANCE:

	ACTION	DATE
1. \$192-30 A. - PRELIMINARY PLAN SUBMISSION	APPROVED	09/09/2024
2. \$192-58.E(10) - PARKING LOT PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER	APPROVED	09/09/2024
3. \$192-59 C.(2) - PARKING SPACES ADJACENT TO END ISLANDS SHALL BE AN ADDITIONAL 2' WIDTH	APPROVED	09/09/2024

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Lancaster
ON THIS, THE 12 DAY OF March, 2025, BEFORE ME, Jennifer L. Soto, THE UNDERSIGNED
OFFICER, PERSONALLY APPEARED David August, KNOWN TO ME (OR SATISFACTORILY PROVEN TO
BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND
ACKNOWLEDGED THAT David August EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO
SET MY HAND AND OFFICIAL SEAL

Commonwealth of Pennsylvania - Notary Seal
Jennifer L. Soto, Notary Public
Lancaster County
My commission expires March 18, 2025
Commission number 1248373
Member, Pennsylvania Association of Notaries

HIGH HOTELS, LTD

NOTARY

DEVELOPMENT SCHEDULE

LD APPROVAL
BUILDING PERMIT
CONSTRUCTION START
CONSTRUCTION END

FALL 2024
SPRING 2024
SUMMER 2025
FALL 2026

MY COMMISSION EXPIRES 3/18, 2025

PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS THE CONSTRUCTION OF
A NEW FOUR-STORY 98 ROOMS HOTEL BUILDING WITH
±45,089 S.F. GROSS FLOOR AREA, ±10,834 S.F.
BUILDING FOOTPRINT, AND ALL ASSOCIATED SITE
IMPROVEMENTS ON THE SUBJECT PROPERTY.

DATES

ISSUE DATE: JUNE 14, 2024
LAST REVISED: JANUARY 09, 2025

DEVELOPER/APPLICANT

HIGH HOTELS, LTD
1853 WILLIAM PENN WAY
LANCASTER, PA 17605-0008
(717) 209-4092
(717) 209-4488 FAX

G0.00 No. 1 of 20

SITE WORK GENERAL NOTES

1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL; HIGH HOTELS, LTD CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
6. CONTRACTOR SHALL SUBMIT AN AS-BUILT TOPOGRAPHIC SURVEY PREPARED AND STAMPED BY A LICENSED ENGINEER TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION. AS-BUILT SURVEY SHALL COMPLY WITH ALL NPDES NOTICE OF TERMINATION REQUIREMENTS, MUNICIPAL ORDINANCE REQUIREMENTS AND INCLUDE ALL SITE ELEMENTS, TOPOGRAPHY, STORM WATER MANAGEMENT FACILITY STRUCTURES/BASINS AND LANDSCAPE ELEMENTS.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL, THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
10. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATION COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
11. A PA. ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 20240652252.
12. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
13. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
14. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRACES. IT SHALL BE THE CONTRACTORS' AND SUBCONTRACTORS' RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
15. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
16. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
17. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEEMED UNACCEPTABLE.
19. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
20. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
21. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
22. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
23. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS, LANDINGS, AND RAMPS.
24. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
25. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
26. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANE AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
27. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
28. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
29. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
30. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
31. PAVEMENT MARKING KEY:
- 4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" SWL 4" BROKEN WHITE LINE 10' STRIPE 30" SPACE
32. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
33. ALL PAVEMENT MARKINGS, PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED.
34. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTIC.
35. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
36. THE TOPOGRAPHY SURVEY AND PROPERTY BOUNDARY DATA IS BASED ON THE DRAWING TITLED "EXISTING CONDITIONS PLAN"; SCALE 1"=40', DATED 04/09/2024, BY BISCON.
37. ALTERNATIVE METHODS AND PROCEDURES OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
38. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC WATER.
39. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC SEWER.
40. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
41. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAPPING AND FIELD OBSERVATIONS.
42. FIRE LINES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
43. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
44. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANS STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
45. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
46. THE CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
47. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY NECESSARY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
48. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
49. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN

APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.

50. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
51. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
52. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
53. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE WORK AREA OR BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED ON THE CONTRACT DRAWINGS. ALL SERVICE PIPES SHALL BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
54. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
55. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHOEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
56. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
58. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING CEMENT WATER PIPING TO BE ADJACENT TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN.
59. EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.
60. DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
- THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
62. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE MUNICIPAL BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
63. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR FILL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
64. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE COMMONWEALTH AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
65. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECONFIGURED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PENNSYLVANIA811 MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
67. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
68. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
69. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
71. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE PADEP AND HEALTH CODE REQUIREMENTS.
72. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
73. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
74. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
75. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
76. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
77. VERTICAL DATUM IS NAVD 88.
78. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT AGENT PRIOR TO THE START OF WORK ON THE SITE.
79. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL, SO AS TO PREVENT THE SLTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP AND THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
80. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
81. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
82. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
83. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY ARCHITECT AND/OR MEP ENGINEER FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
84. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
85. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
86. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
87. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
88. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
89. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
90. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
91. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
92. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
93. CONTRACTOR TO PROVIDE STEEL SLEEVES, OR APPROVED EQUAL IN ACCORDANCE WITH ARCHITECTURE PLANS, AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
94. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.

95. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
96. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
97. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER PRACTICAL. WHEN THE SAME TRENCH IS USED, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
98. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAB CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
99. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
100. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
101. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
102. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
103. ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL TWO 2" PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE, TWO 2" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL MANHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRICAL CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
104. ALL WATER LINES TO HAVE A MINIMUM COVER OF THREE (3) FEET. ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
105. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
106. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
107. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
108. PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
109. CAST IRON SOIL PIPE (CSP) AND FITTINGS SHALL BE EXTRA HEAVY BELL & SPOGOT WITH NEOPRENE GASKET JOINTS IN ACCORDANCE WITH ASTM A74 & C564-(LATEST REVISION).
110. POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS' RECOMMENDED PROCEDURE.
111. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL BE WATERIGHT AND CONFORM TO THE REQUIREMENTS OF ASTM C-443.
112. ALUMINIZED STEEL STORM SEWER PIPING SHALL BE CORRUGATED 16 GAUGE TYPE 2 ALUMINIZED STEEL PIPE. "N"= .013 UP TO 36" DIAMETER AND SHALL BE 14 GAUGE TYPE 2 A.S.P. FOR PIPES 36" AND LARGER THAN 36" DIAMETER. ALL PIPE TO HAVE CONTINUOUS CORRUGATION BAND COUPLINGS WITH BAR AND STRAP CONNECTIONS AND GASKETS.
113. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
114. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
115. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 242, WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
116. DUCTILE IRON PIPE FOR STORM DRAINAGE PIPING SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A 214. DI STORM PIPE SHALL BE PUSH ON JOINT WITH RUBBER GASKET.
117. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
118. PE WATER PIPING SHALL CONFORM TO AWWA C901.
119. POLYVINYL CHLORIDE (PVC) PIPE FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
120. DUCTILE IRON PIPE SHALL CONFORM TO LOCAL JURISDICTION OR AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH METALLURG RETAINER GLANDS OR WITH RODS IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2' PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.
121. PVC WATER MAIN PIPING SHALL CONFORM TO AWWA C900.
122. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
123. ALL WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SPECIFICATIONS AND PUBLICATION 72, ROADWAY CONSTRUCTION STANDARDS, UNLESS OTHERWISE NOTED.
124. WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
125. A RIGHT-OF-WAY PERMIT IS REQUIRED BEFORE STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
126. ALL STORM DRAINAGE PIPE SHALL BE SMOOTH INTERIOR UNLESS OTHERWISE NOTED.
127. THE LOT OWNERS ARE REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
128. MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.
129. CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
130. CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION SITE MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
131. SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
132. PROPOSED SIGNS WILL BE PERMITTED SEPARATELY AND WILL COMPLY WITH THE STANDARDS FROM THE LOWER ALLEN TOWNSHIP ZONING CODE SECTION 220-248.
133. GENERAL CONTRACTOR TO COORDINATE ALL SITE WORK WITH WITH EXISTING HOTEL MANAGEMENT ON A DAILY BASIS. AT NO TIMES SHALL THE ACCESS DRIVE TO RITTER ROAD BE BLOCKED, EVEN ON A TEMPORARY BASIS.
134. UTILITY SERVICES SHALL BE MAINTAINED AT ALL TIMES TO THE EXISTING HOTEL ON SITE.
135. TREES ON SITE SHALL NOT BE REMOVED BETWEEN MAY 15 AND AUGUST 15.
136. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY SWM BMPs, FACILITIES, AREAS, STRUCTURES, OR EASEMENTS THAT WERE INSTALLED/APPROVED AS A REQUIREMENT OF CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
137. THE APPLICANT SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS OF ALL SWM BMPs INCLUDED IN THE APPROVED SWM SITE PLAN, THE AS-BUILT PLANS AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY.
138. THE AS-BUILT SUBMISSION SHALL INCLUDE CERTIFICATION OF COMPLETION SIGNED BY A QUALIFIED PROFESSIONAL VERIFYING THAT ALL PERMANENT SWM BMP'S HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS. THE LATITUDE AND LONGITUDE COORDINATES FOR ALL PERMANENT SWM BMPs MUST ALSO BE SUBMITTED, AT THE CENTRAL LOCATION OF THE BMPs. IF ANY LICENSED QUALIFIED PROFESSIONALS CONTRIBUTED TO THE CONSTRUCTION PLANS, THEN A LICENSED QUALIFIED PROFESSIONAL MUST SIGN THE COMPLETION CERTIFICATE.
139. AFTER RECEIPT OF THE COMPLETION CERTIFICATION BY THE MUNICIPALITY, THE MUNICIPALITY MAY CONDUCT A FINAL INSPECTION.
140. THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE INSTALLATION OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES AND BMPs.
141. THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE SITE DEVELOPMENT WORK IN PROGRESS, TO ENSURE COMPLIANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS. INSPECTION FUNCTIONS UNDER THIS SECTION MAY BE DELEGATED BY THE MUNICIPALITY TO ANOTHER ENTITY IF SUCH AGREEMENT IS ENTERED INTO BY THE MUNICIPALITY.
142. DURING ANY STATE OF THE WORK, IF THE MUNICIPALITY ENGINEER DETERMINES THAT THE PERMANENT STORMWATER MANAGEMENT FACILITIES OR BMPs ARE NOT BEING INSTALLED IN ACCORDANCE WITH THE APPROVED SWM SITE PLAN, THE MUNICIPALITY SHALL REVOKE ANY EXISTING MUNICIPAL PERMITS AND/OR ISSUE A STOP-WORK ORDER UNTIL A REVISED SWM SITE PLAN IS SUBMITTED AND APPROVED, AS SPECIFIED IN CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE.
143. UPON PRESENTATION OF PROPER CREDENTIALS, DUTY AUTHORIZED REPRESENTATIVES OF THE MUNICIPALITY MAY ENTER AT REASONABLE TIMES UPON ANY PROPERTY WITHIN THE MUNICIPALITY TO INSPECT THE IMPLEMENTATION, CONDITION, OR OPERATION OF THE STORMWATER BMPs IN REGARD TO ANY ASPECT GOVERNED BY THIS CHAPTER.
144. BMP OWNERS AND OPERATORS SHALL ALLOW PERSONS WORKING ON BEHALF OF THE MUNICIPALITY READY ACCESS TO ALL PARTS OF THE PREMISES FOR THE PROPOSES OF DETERMINING COMPLIANCE WITH CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE.

145. PERSONS WORKING ON BEHALF OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO TEMPORARILY LOCATE ON ANY BMP IN THE MUNICIPALITY SUCH DEVICES AS ARE NECESSARY TO CONDUCT MONITORING AND/OR SAMPLING OF THE DISCHARGES FROM SUCH BMPs.
146. UNREASONABLE DELAYS IN ALLOWING MUNICIPALITY ACCESS TO A BMP IS A VIOLATION OF CHAPTER 184 IN THE MUNICIPALITY'S ORDINANCE.
147. SWM SITE PLANS APPROVED BY THE MUNICIPALITY, IN ACCORDANCE WITH §184-24, SHALL BE IN SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY.
148. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESHORING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UENRPM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
149. AT THE TIME A BUILDING PERMIT APPLICATION IS REQUIRED TO BE PROVIDED, A SUBMISSION WITH RETAINING WALL CALCULATIONS SHALL BE PROVIDED. FINAL WALL DESIGN SHALL BE PREPARED BY, SIGNED, AND SEALED BY A LICENSED ENGINEER.
150. ALL SIGNAGE NEEDS TO MEET THE REQUIREMENTS OF ARTICLE XXV.
151. THE APPLICANT SHALL PROVIDE TO THE TOWNSHIP, REPRODUCIBLE AND PAPER, CLEAR AND LEGIBLE COPIES OF THE RECORD PLAN, THE NUMBER OF PLANS TO BE SET BY RESOLUTION OF THE BOARD OF COMMISSIONERS. SUCH RECORD PLAN SHALL BE A SIZE OF 18 INCHES BY 24 INCHES, OR OTHER SIZE AS REQUIRED BY THE COUNTY RECORDER OF DEEDS, AND SHALL, AT A MINIMUM, INCLUDE ALL OF THE FOLLOWING: STREET RIGHT-OF-WAY, ANY COMMON OPEN SPACES AND/OR RECREATION LAND, EASEMENTS AND ANY COVENANTS THAT THE TOWNSHIP REQUIRED TO BE PLACED ON THE FINAL PLAN, LOT LINES AND LOT DIMENSIONS, WATER LINES, SANITARY, AND STORMWATER DRAINAGE FACILITIES, THE REQUIRED SIGNATURE OF TOWNSHIP OFFICIALS AND THE COUNTY PLANNING DEPARTMENT AND THE DATE OF APPROVALS, NOTATIONS STATING WHETHER THE STREET, ANY COMMON OPEN SPACES AND OTHER PROPOSED IMPROVEMENTS ARE TO BE OFFERED OR NOT OFFERED FOR DEDICATION TO THE TOWNSHIP, AND ADDITIONAL INFORMATION FROM THE COMPLETE FINAL PLAN THAT THE TOWNSHIP OR THE COUNTY RECORDER OF DEEDS MAY REQUIRE BE SHOWN.
152. SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY RULES AND REGULATIONS.
153. THE OWNER SHALL EMPLOY A QUALIFIED REGISTERED PROFESSIONAL TO CONDUCT INSPECTIONS OF THE STORMWATER FACILITIES AND PERMANENT BMPs IN ACCORDANCE WITH THE OPERATION & MAINTENANCE PLAN AS WELL AS THE LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (§184-34). THE QUALIFIED REGISTERED PROFESSIONAL SHALL PREPARE A WRITTEN REPORT AND SUBMIT IT TO THE TOWNSHIP WITHIN ONE MONTH FOLLOWING THE COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION REGARDING THE CONDITION OF THE FACILITY AND RECOMMENDING NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE MONTH OF THE REPORT ISSUANCE DATE.

DEFINITIONS

MUNICIPALITY SHALL MEAN LOWER ALLEN TOWNSHIP

COUNTY SHALL MEAN CUMBERLAND COUNTY

STATE OR COMMONWEALTH SHALL MEAN PENNSYLVANIA

WATER UTILITY PROVIDER SHALL MEAN PENNSYLVANIA AMERICAN WATER

SANITARY UTILITY PROVIDER SHALL MEAN LOWER ALLEN TOWNSHIP AUTHORITY

GAS UTILITY PROVIDER SHALL MEAN US UTILITIES

TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN COMCAST, VERIZON, OR FRONTIER COMMUNICATIONS

ELECTRIC UTILITY PROVIDER SHALL MEAN PPL ELECTRIC UTILITIES CORPORATION


DOT SHALL MEAN THE STATE DEPARTMENT OF TRANSPORTATION

Architecture
Engineering
Environmental
Land-Surveying



B3
Companies

2601 Market Place, Suite 350
Harrisburg, PA 17110
(717) 651-9850



HIGH
HOTELS
LTD
An Affiliate of High Hotels Estate LLC

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSS

LEGEND

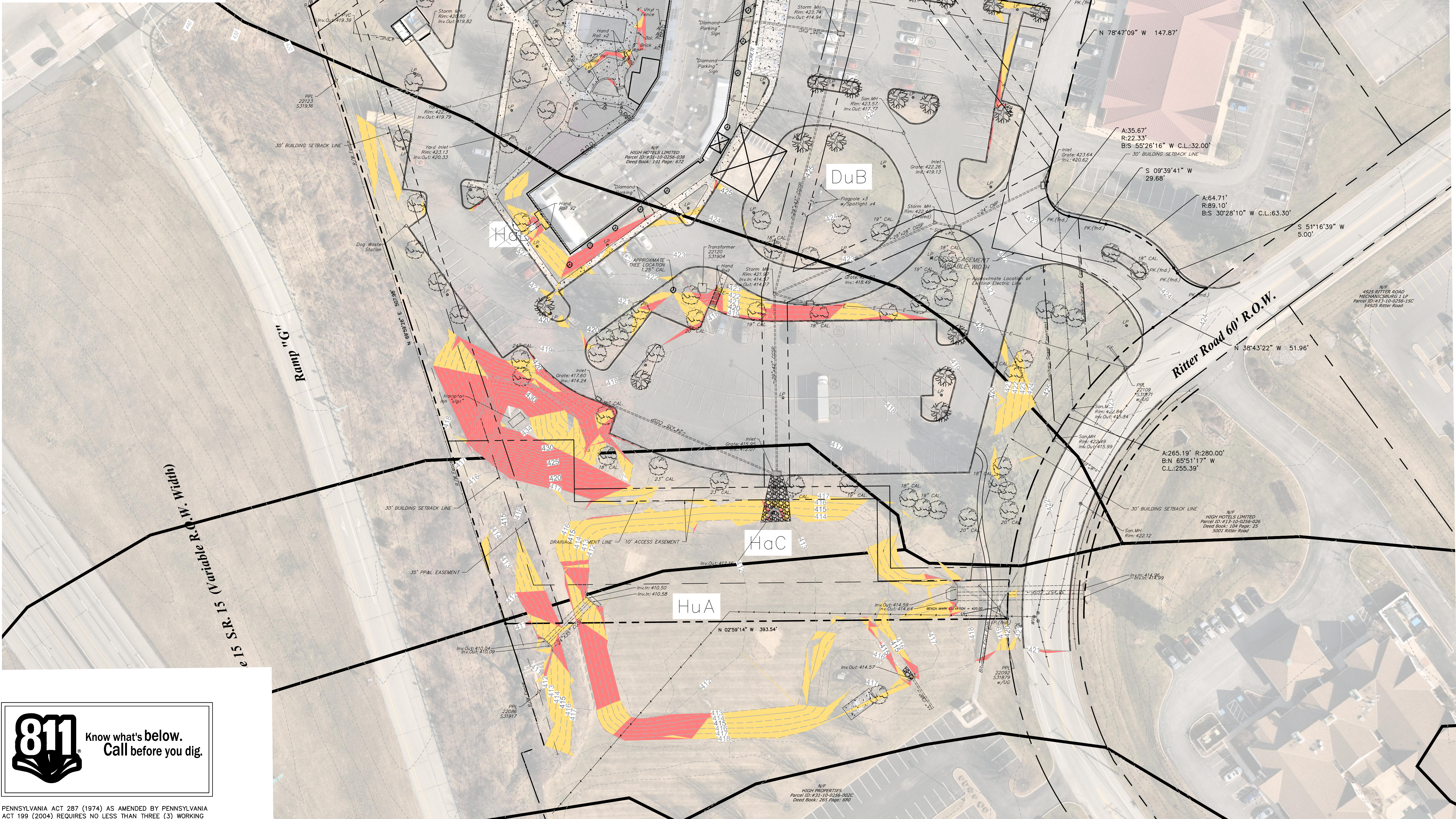
PROPERTY LINE
CONTOUR
WATER LINE
STORM SEWER LINE
SANITARY SEWER LINE
GAS LINE
OVERHEAD WIRES
CHAIN LINE FENCE
UTILITY POLE
GUY WIRE
CATCH BASIN
SANITARY SEWER MANHOLE
WATER VALVE
CHAIN LINE FENCE

EXISTING LIGHT POLES
SIGN
BOLLARD
TREE

SLOPES BETWEEN 15% TO 25%
SLOPES MORE THAN 25%

SOIL BOUNDARY
SOIL LABELS

SOILS LEGEND							
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP	SEASONAL WATER TABLE	DRAINAGE CLASS	LAND CAPABILITY CLASS	BEDROCK DEPTH	HYDRIC SOIL RATING
DuB	Duffield silt loam, 3 to 8 percent slopes	B	>80 inches	Well Drained	2e	60-80 inches	No
HaB	Hagerstown silt loam, 3 to 8 percent slopes	B	>80 inches	Well Drained	3w	43-98 inches	No
HaC	Hagerstown silt loam, 8 to 15 percent slopes	B	>80 inches	Well Drained	3e	43-98 inches	No
HuA	Huntington silt loam, 0 to 5 percent slopes	B	>80 inches	Well Drained	1	>80 inches	No



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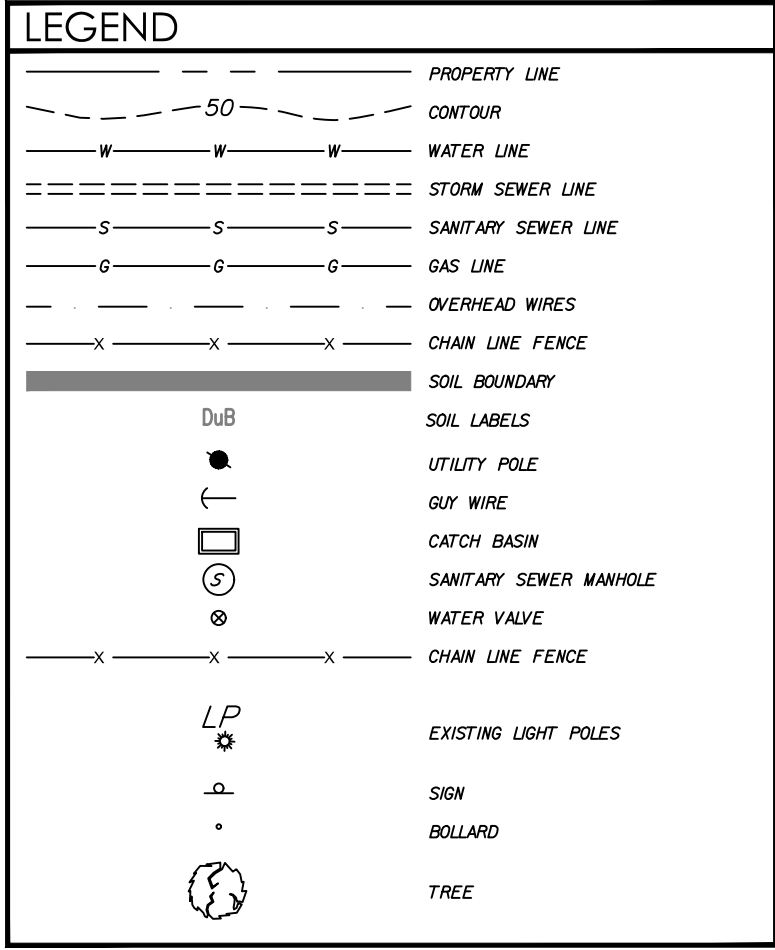
REVISIONS		DATE	DESCRIPTION
No.	1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS	
3	01/07/2025	PER WATER COMPANY COMMENTS AND LOD SHIFT	

Designed	C.L.H.
Drawn	N.M.
Reviewed	G.J.H.
Scale	1" = 40'
Project No.	2400139
Date	06/14/2024
CAD File:	V2400139-00

Title
**EXISTING
NATURAL
RESOURCE PLAN**

Sheet No.

V0.00
No. 3 of 20



SCHEDULE B-2

FIDELITY NATIONAL TITLE INSURANCE COMPANY

Commitment Number 11853906

Effective Date June 30, 2024

SCHEDULE "B" PART II EXCEPTIONS FROM COVERAGE

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

NO COMMENT FOR EXCEPTIONS 1-5,

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears the first time in the Public Records or is created, attaches, or is disclosed by the Report Date and the date on which all of the Schedule B, Part I - Requirements are met.

2. Rights or claims of parties in possession of the land not shown by the public record.

3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.

4. Easements, encroachments, overlaps, shortages of area, boundary line disputes, and other matters affecting title that an accurate and complete survey would disclose.

5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.

6. Reciprocal Easement Agreement set forth in Misc. Book 582, Page 13. AFFECTS PROPERTY AS PLOTTED.

7. Notes, conditions, setback lines, easements, reservations, covenants and restrictions as shown and set forth in plans, recorded in Plan Book 55 Page 1 Plan Book 58, Page 46; Plan Book 61, Page 54; Plan Book 77, Page 25 and Instrument No. 200743676, but omitting any covenants or restrictions, if any, upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. DOES NOT AFFECT PROPERTY.

8. Declaration of Sign Easement set forth in Instrument No. 202410014. AFFECTS PROPERTY NOT PLOTTABLE.

9. Rights granted to Bell Telephone Company set forth in Misc. Book 347, P 155; Misc. Book 70, Page 225; Misc. Book 70, Page 226; Misc. Book 364, Page 390; Misc. Book 390, Page 81 and Misc. Book 322, Page 226. AFFECTS PROPERTY. BLANKET IN NATURE. NOT PLOTTABLE.

10. Rights granted to Pennsylvania Power and Light Company set forth in Misc. Book 194, Page 646; Misc. Book 107, Page 362; Misc. Book 479, Page 648; Misc. Book 370, Page 890 and Misc. Book 405, Page 525. DOES NOT AFFECT PROPERTY.

11. Rights granted to Pennsylvania Power and Light Company and Bell Telephone Company set forth in Misc. Book 313, Page 111. AFFECTS PROPERTY. BLANKET IN NATURE. NOT PLOTTABLE.

12. Rights granted to Laurel Pipe Line Company set forth in Misc. Book 130, Page 102 and Releases in Misc. Book 334, Page 54 and Misc. Book 336, Page 1004. DOES NOT AFFECT PROPERTY.

13. Rights granted to Riverton Consolidated Water Company set forth in Misc. Book 198, Page 1137 and Misc. Book 315, Page 294. DOES NOT AFFECT PROPERTY.

14. Amendment Agreement with Allegheny Pipe Line Company set forth in Misc. Book 330, Page 546 and Misc. Book 330, Page 876. DOES NOT AFFECT PROPERTY.

15. Rights granted to Sinclair Refining Company set forth in Misc. Book 75, Page 368 and Modification set forth in Misc. Book 106, Page 523. DOES NOT AFFECT PROPERTY.

16. Declaration of Protective Covenants set forth in Misc. Book 354, Page 57. AFFECTS PROPERTY. NOT PLOTTABLE.

17. Assignment of Right of Way to Allegheny Pipeline Company set forth in Misc. Book 161, Page 44. DOES NOT AFFECT PROPERTY.

18. Rights granted to UGI Corp. set forth in Misc. Book 357, Page 263 and Misc. Book 373, Page 618. AFFECTS PROPERTY AS PLOTTED.

19. Rights granted to Sammons Communications set forth in Misc. Book 375, Page 35. AFFECTS PROPERTY. BLANKET IN NATURE. NOT PLOTTABLE.

20. Declaration of Covenants and Restrictions set forth in Misc. Book 582, Page 13. DOES NOT AFFECT PROPERTY.



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2601 Market Place, Suite 350
Harrisburg, PA 17110
(717) 651-9850



PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

REVISIONS	DATE	PER TOWNSHIP COMMENTS	PER TOWNSHIP COMMENTS
No. 1	07/17/2024	PER TOWNSHIP COMMENTS	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS	PER TOWNSHIP COMMENTS
3	01/07/2025	PER TOWNSHIP COMMENTS	PER TOWNSHIP COMMENTS

Designed C.L.H.
Drawn N.M.
Reviewed G.J.H.
Scale 1" = 40'
Project No. 2400139
Date 06/14/2024
CAD File: V2400139-01

EXISTING
CONDITIONS
PLAN

Sheet No.

V1.00
No. 4 of 20

4/3/2025: AKALANOWICZ, G. L08524-000-2400139-01.DWG (V2400139-01.DWG)

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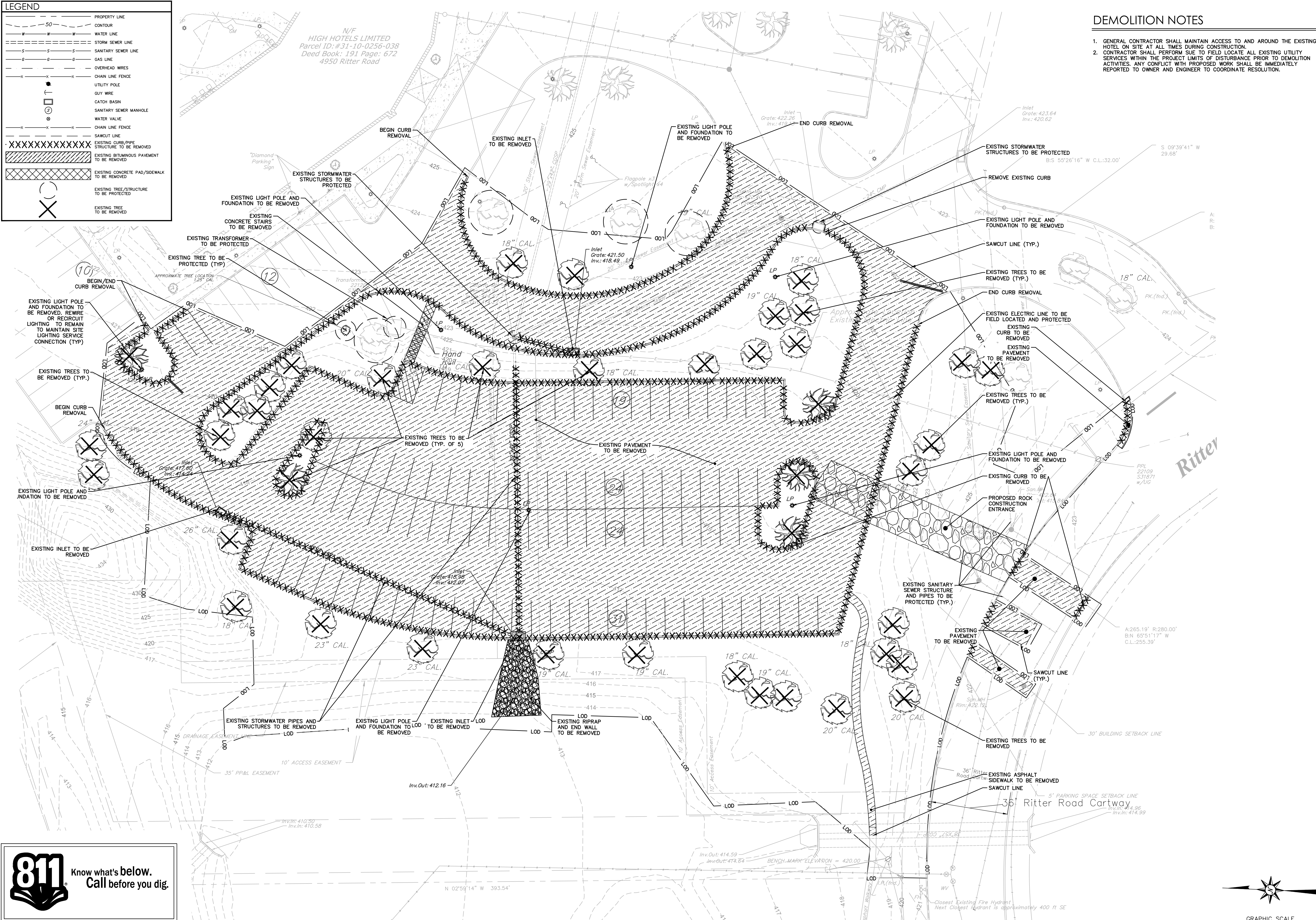
FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

LEGEND

- PROPERTY LINE
- CONTOUR
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- GAS LINE
- OVERHEAD WIRES
- CHAIN LINE FENCE
- UTILITY POLE
- GUY WIRE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- WATER VALVE
- CHAIN LINE FENCE
- SAWCUT LINE
- EXISTING CURB/PIPE STRUCTURE TO BE REMOVED
- EXISTING BITUMINOUS PAVEMENT TO BE REMOVED
- EXISTING CONCRETE PAD/SIDEWALK TO BE REMOVED
- EXISTING TREE/STRUCTURE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED

DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL MAINTAIN ACCESS TO AND AROUND THE EXISTING HOTEL ON SITE AT ALL TIMES DURING CONSTRUCTION.
2. CONTRACTOR SHALL PERFORM SUE TO FIELD LOCATE ALL EXISTING UTILITY SERVICES WITHIN THE PROJECT LIMITS OF DISTURBANCE PRIOR TO DEMOLITION ACTIVITIES. ANY CONFLICT WITH PROPOSED WORK SHALL BE IMMEDIATELY REPORTED TO OWNER AND ENGINEER TO COORDINATE RESOLUTION.

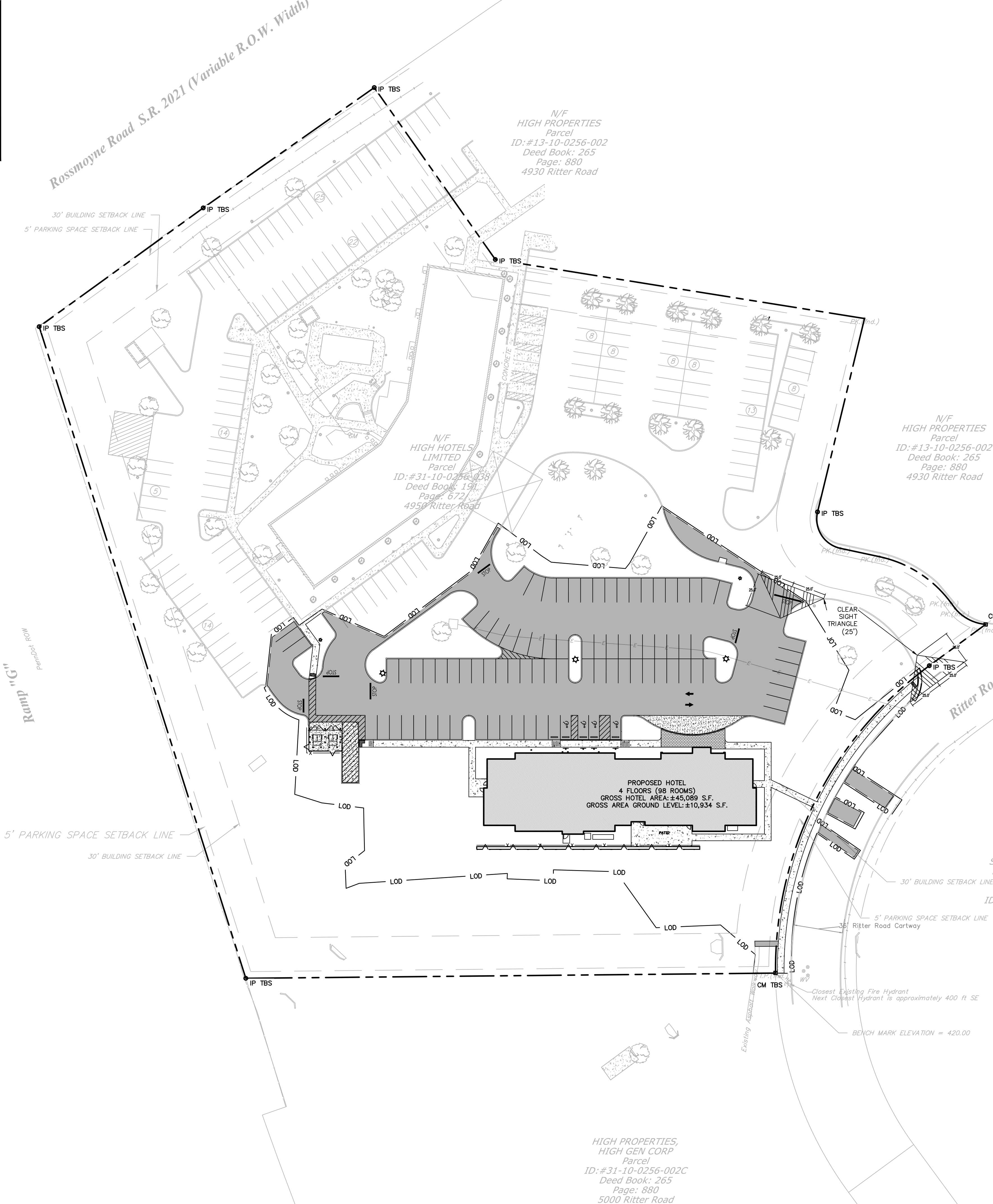


811 Know what's below.
Call before you dig.

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REVISIONS				DESIGNED		DRAWN	
No.	Date	Per	By	By	Date	By	Date
1	07/17/2024	PER TOWNSHIP COMMENTS					
2	08/29/2024	PER TOWNSHIP COMMENTS					
3	01/07/2025	PER WATER COMPANY COMMENTS AND LOD SHEET					
Title				C.L.H.			
DEMOLITION PLAN				N.M.			
Sheet No.				G.J.H.			
				1" = 20'			
				Project No.			
				2400139			
				Date			
				06/14/2024			
				CAD File:			
				C2400139-00			

LEGEND	
	LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
	PROPERTY LINE
	SAWCUT LINE
	EXISTING GRADES
	CONCRETE CURB
	SIGN
	HEAVY DUTY CONCRETE
	STANDARD DUTY BITUMINOUS PAVEMENT
	12" SOLID WHITE STOP BAR (SWGB)
	CONCRETE MONUMENT TO BE SET
	IRON PIN TO BE SET



ZONING INFORMATION

LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY				
ZONE: PLANNED BUSINESS CENTER (C-3)				
USE: HOTEL (PERMITTED USE) NAICS CODE 236220				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	SECTION
1	MINIMUM LOT AREA	NONE REQUIRED	±6.73 ACRES	§220-68.A.
2	MINIMUM LOT WIDTH AT BUILDING SETBACK LINE	50 FEET	±317 FEET	§220-68.B.
3	MINIMUM FRONT SETBACK	30 FEET *	33 FEET	§220-69.A.(1)
4	MINIMUM SIDE SETBACK	10 FEET / 25 FEET *	>25 FEET	§220-69.B.(2)
5	MINIMUM REAR SETBACK	35 FEET *	N/A	§220-69.B.(3)
6	MINIMUM INTERIOR YARDS	• FRONT-TO-FRONT, REAR-TO-REAR OR FRONT-TO-REAR - 50 FEET • END-TO-END - 25 FEET • END-TO-FRONT OR END-TO-REAR - 30 FEET	±170 FEET BUILDING SEPARATION	§220-212.D.
7	MAXIMUM BUILDING HEIGHT	75 FEET	<75 FEET **	§220-66
8	IMPERVIOUS COVERAGE	65 PERCENT	±53.3%	§220-67

* THE MINIMUM FRONT, SIDE, REAR YARD SETBACKS FOR HOTELS SHALL BE NO LESS THAN 25 FEET (SECTION 220-171.C.)
NOTE: PROPOSED DEVELOPMENT IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER
** THE OVERALL BUILDING HEIGHT VARIES DEPENDING UPON CONSTRUCTION MATERIAL, AND IS ESTIMATED AROUND 50' IN HEIGHT.

PARKING INFORMATION

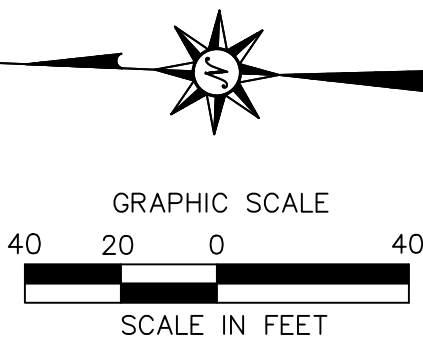
ITEM #	ITEM	REQUIREMENTS	PROPOSED	SECTION
1	BUILDING SIZE	NONE REQUIRED	98 ROOMS PROPOSED	N/A
2	PARKING REQUIRED BY TOWNSHIP	HOTEL: 1 PER SLEEPING ROOM, + 1 PER 200 S.F. GFA OF PUBLIC MEETING AREA, + 1 PER EVERY 2 EMPLOYEES ON THE LARGEST WORK SHIFT 98 ROOMS + 20 EMP./2 + 0 SF PUBLIC MEETING AREA= 108 SPACES**	108 TOTAL SPACES	§220-239.A.
3	MINIMUM PARKING SETBACK	5 FEET FROM PROPERTY LINE	>5 FEET	§220-242.L(2)
4	MINIMUM PARKING DIMENSIONS	9 FEET x 18 FEET (90')	9 FEET x 18 FEET	§220-242.L(1)(a)
5	MINIMUM AISLE WIDTH	24 FEET (90')	24 FEET	§220-242.L(1)(a)
6	OFF-STREET LOADING & UNLOADING SPACES	HOTEL: AT LEAST 1, WITH AN ADDITIONAL FOR OVER 50,000 SQ. FT. 1 + 0 = 1 SPACE	1 SPACE	§220-243.A(2)

** SEE ADD ON SHEET EX.02 FOR OVERALL PARKING PLAN




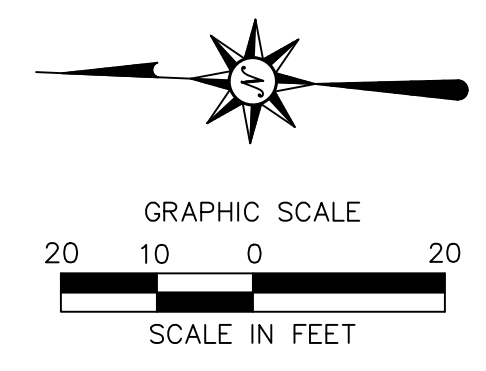
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HIGH PROPERTIES,
HIGH GEN CORP
Parcel
ID: #13-10-0256-002C
Deed Book: 265
Page: 880
5000 Ritter Road



Parcel ID: # 3-10-0256-002
880

SIGN LEGEND		
PENNDOT NO. OR MUTCD NO.	LEGEND	
A	R7-8	
B	T4503	<div>VAN ACCESSIBLE</div>



**Know what's below.
Call before you dig.**

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An Affiliate of High Hotel Estates Group LLC

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

No.	Date	Desc.
1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS
3	01/09/2025	PER WATER COMPANY COMMENTS AND LOD SHIFT

Designed	C.L.H.
Drawn	N.M.
Reviewed	G.J.H.
Scale	1" = 20'
Project No.	2400139
Date	06/14/2024

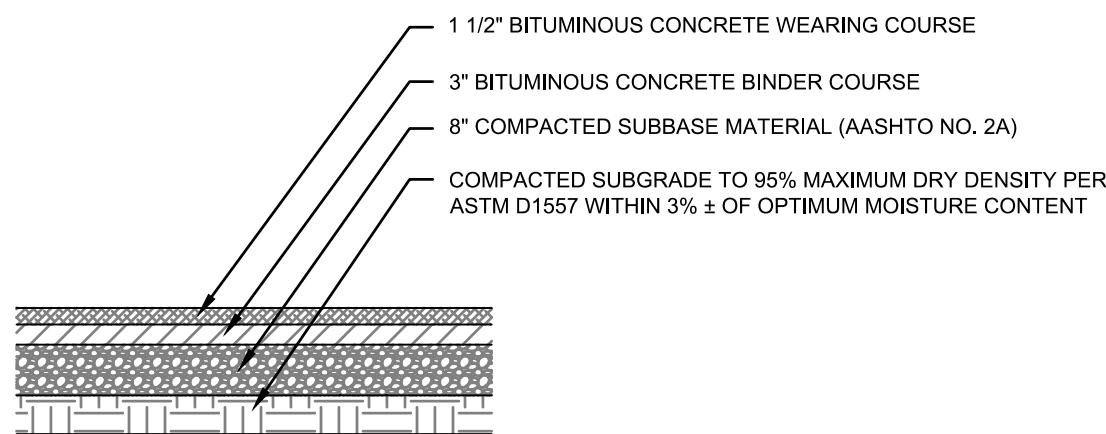
Title

SITE PLAN

Sheet No.

C1.01

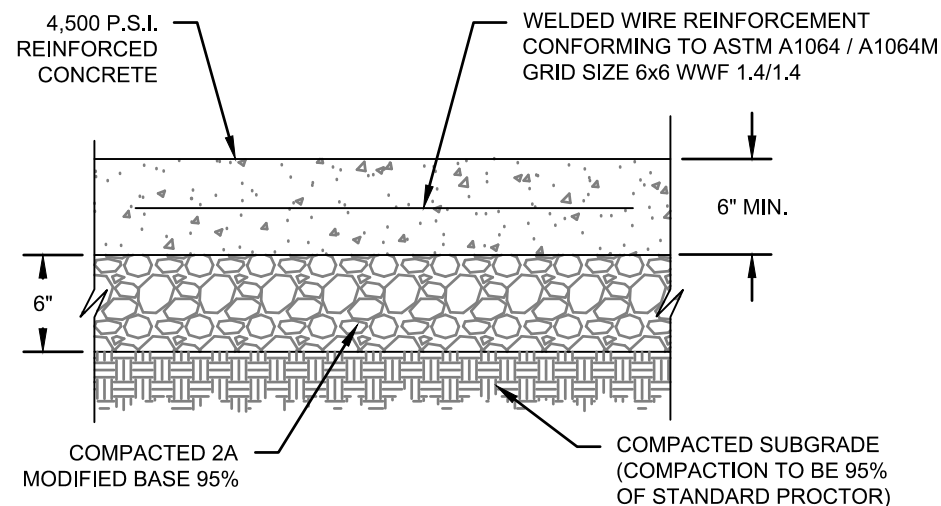
No. 7 of 20



- NOTES:
- ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PENNDOT STANDARDS, PUB. 406.

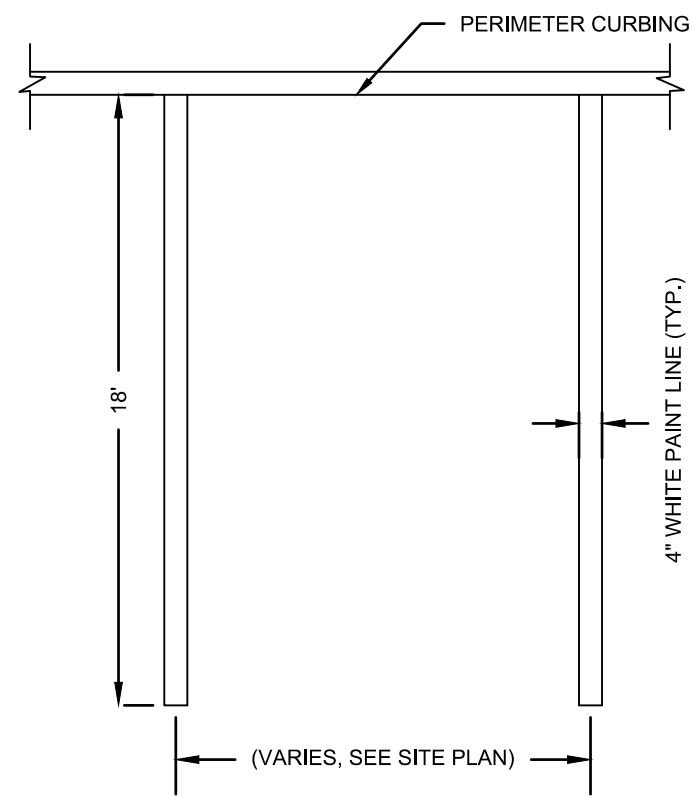
STANDARD DUTY BITUMINOUS PAVING DETAIL

N.T.S



ASPHALT SIDEWALK DETAIL

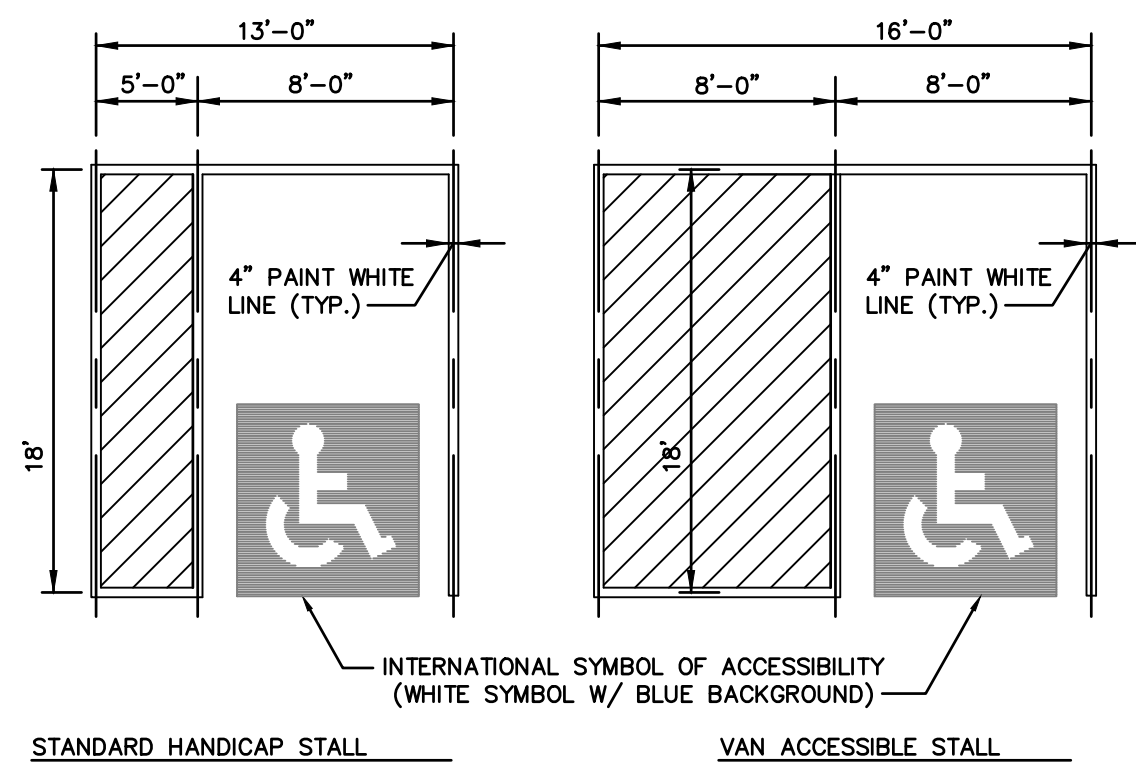
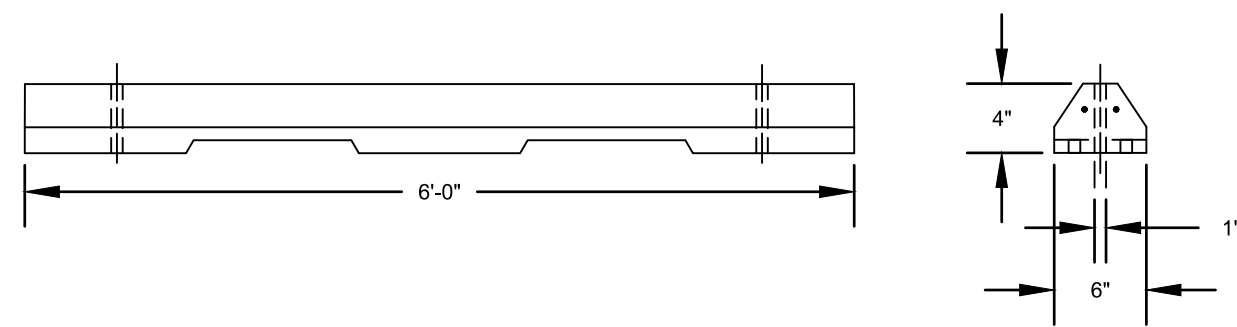
N.T.S



- NOTES:
- PROVIDE TWO COATS OF PAINT ON ALL SURFACES.
 - SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

PARKING STALL DETAIL

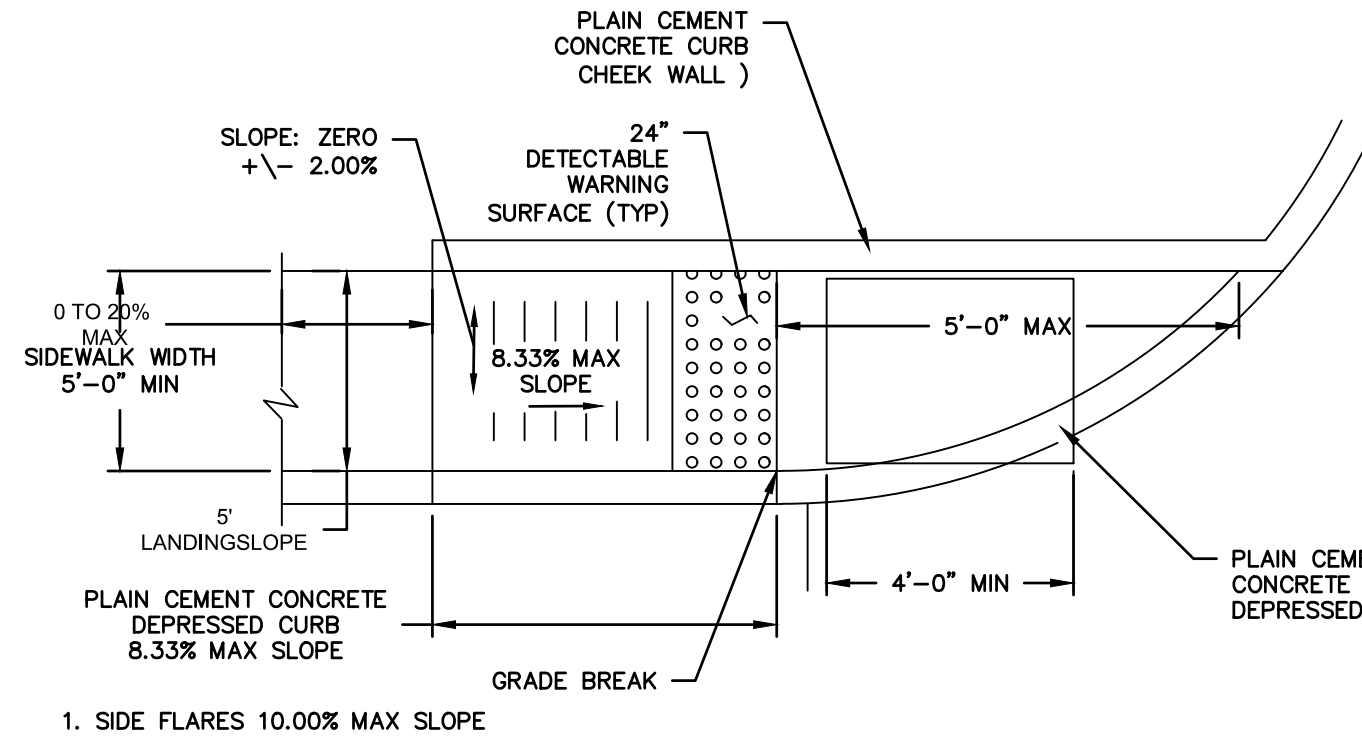
N.T.S



NOTE: LAYOUT SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION 4.30. & 2010 ADA

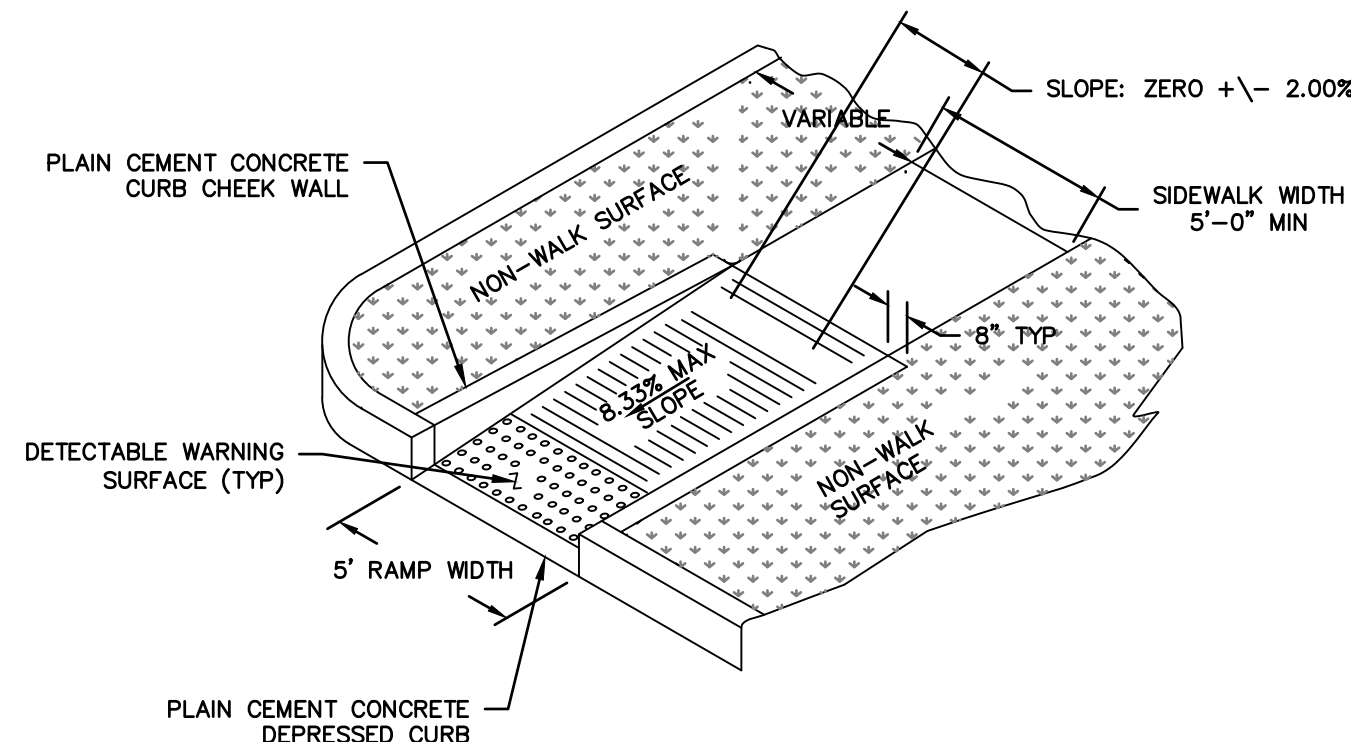
TYPICAL ADA PARKING SPACE DETAIL

N.T.S



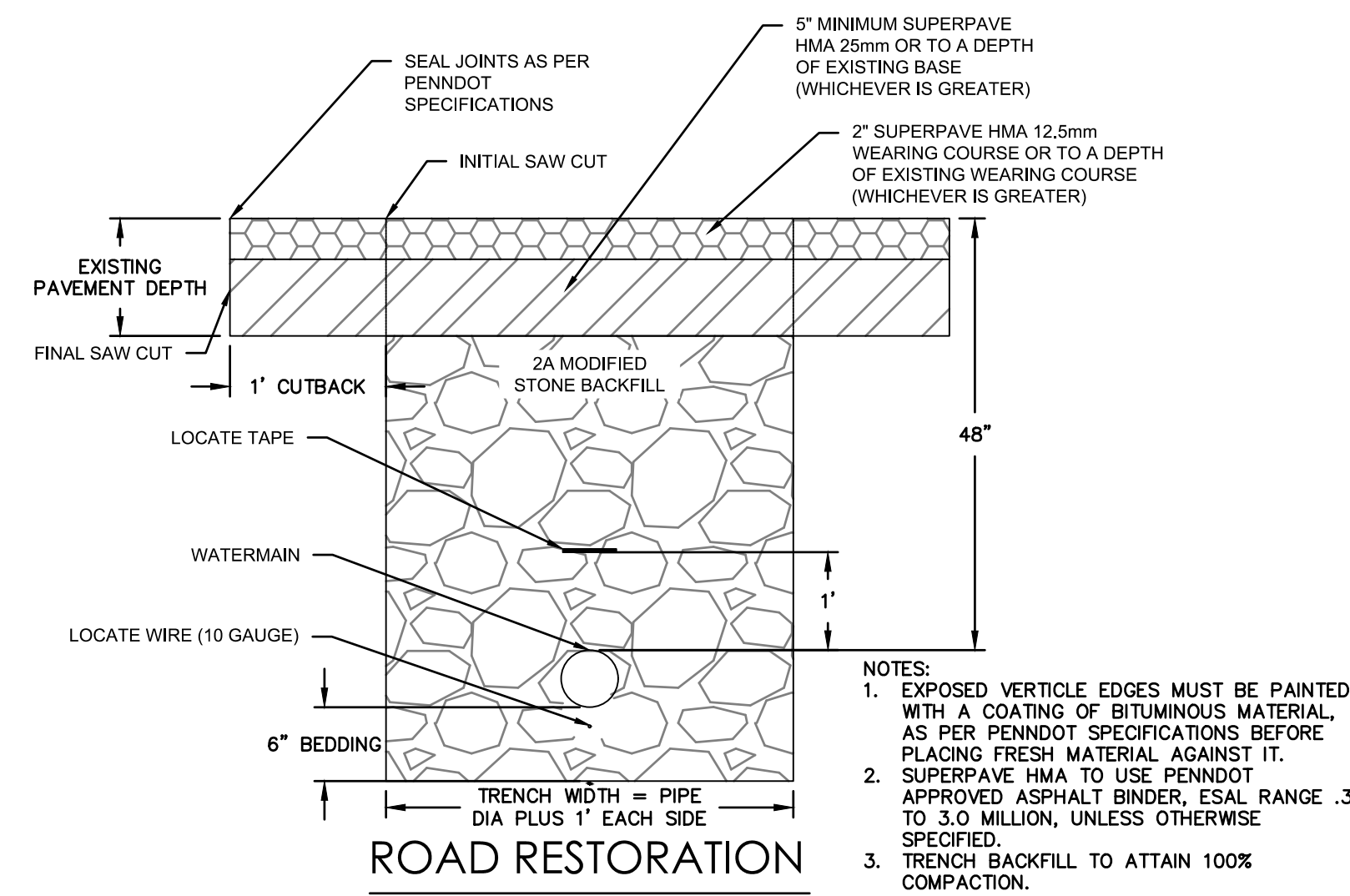
TYPE 1A CURB RAMP

N.T.S

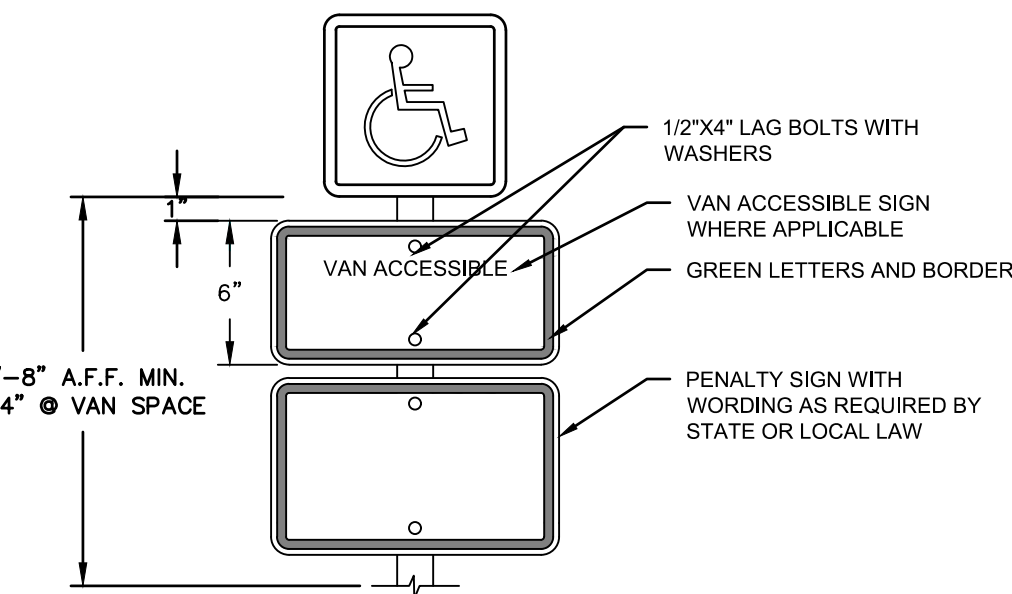


TYPE 4 CURB RAMP (PARALLEL)

N.T.S

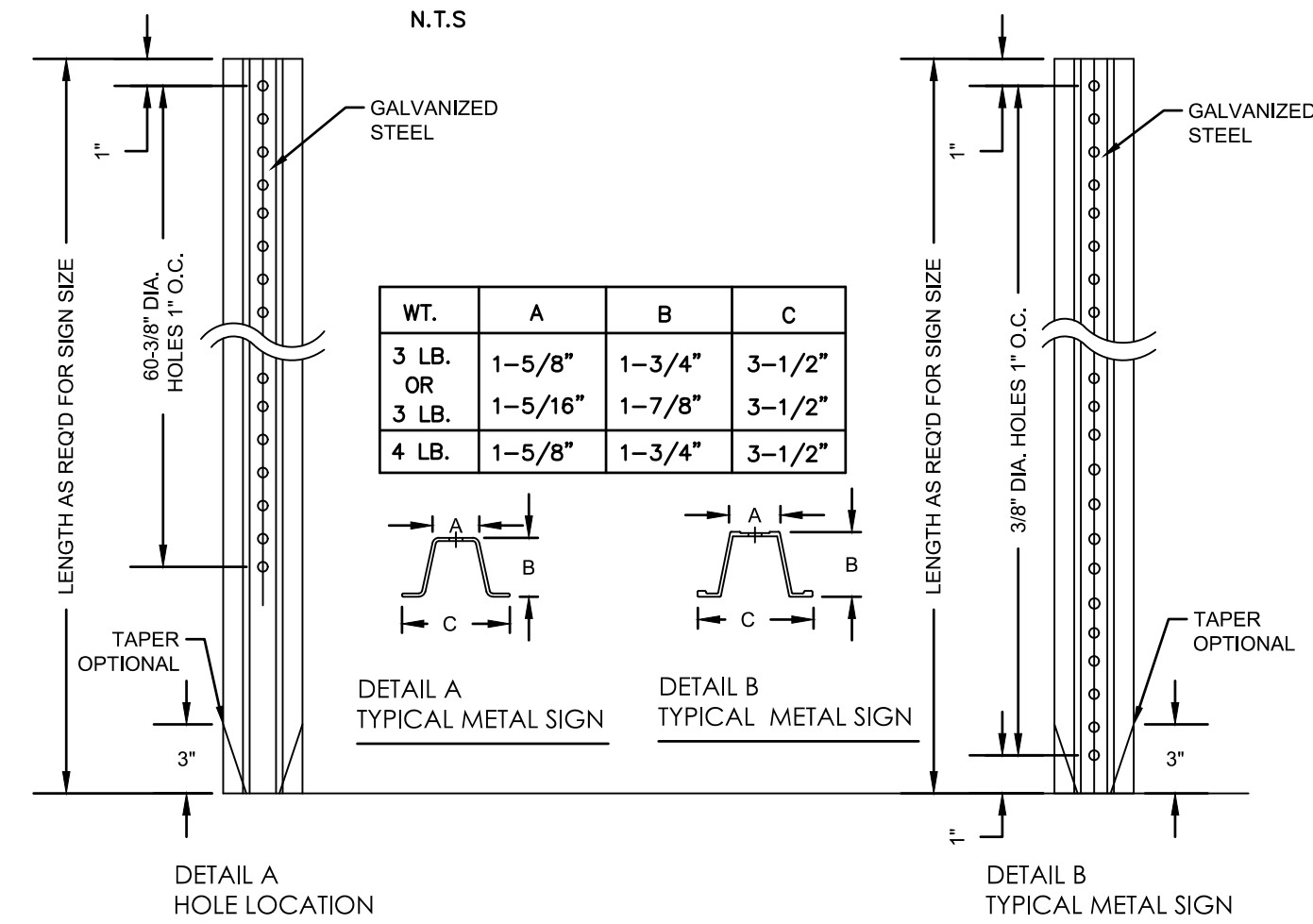


- NOTES:
- EXPOSED VERTICAL EDGES MUST BE PAINTED WITH A COATING OF BITUMINOUS MATERIAL, AS PER PENNDOT SPECIFICATIONS BEFORE PLACING FRESH MATERIAL AGAINST IT.
 - SUPERPAVE HMA TO USE PENNDOT APPROVED ASPHALT BINDER, ESAL RANGE .3 TO 3.0 MILLION, UNLESS OTHERWISE SPECIFIED.
 - TRENCH BACKFILL TO ATTAIN 100% COMPACTION.



TYPICAL ACCESSIBLE SIGN

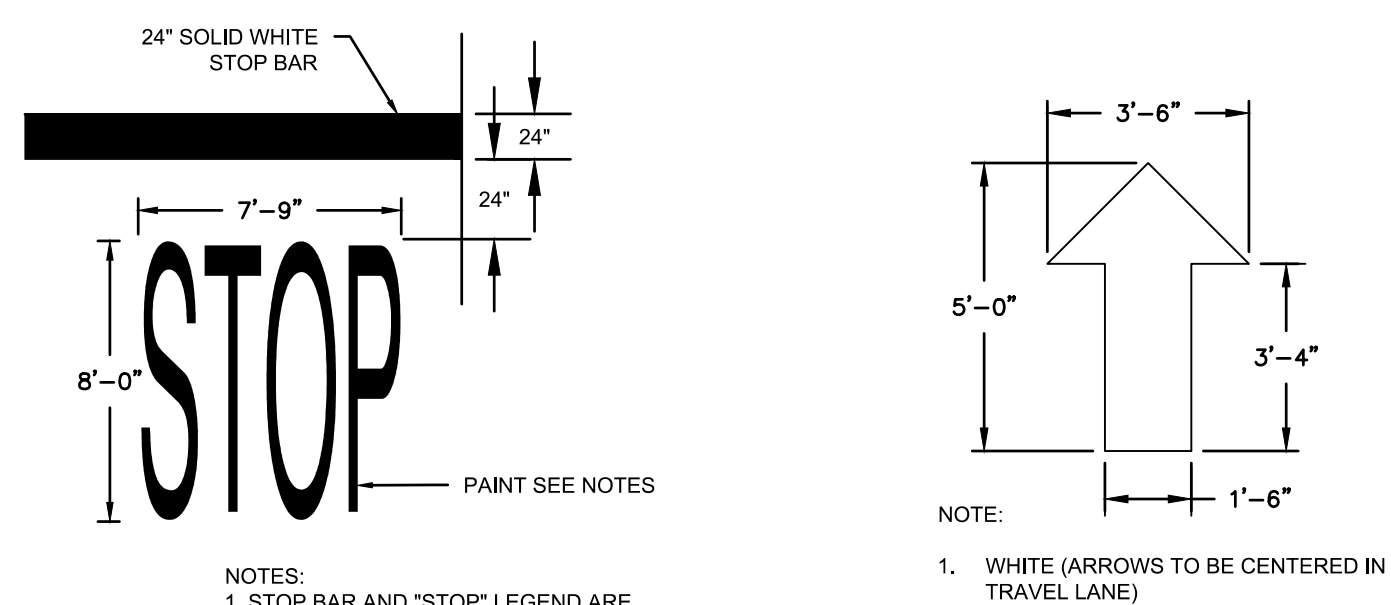
N.T.S



- NOTES:
- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF "30 LBS OR GREATER PER LINEAR FOOT.
 - AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
 - SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
 - ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

TYPICAL METAL SIGN POST

N.T.S



STOP BAR DETAIL

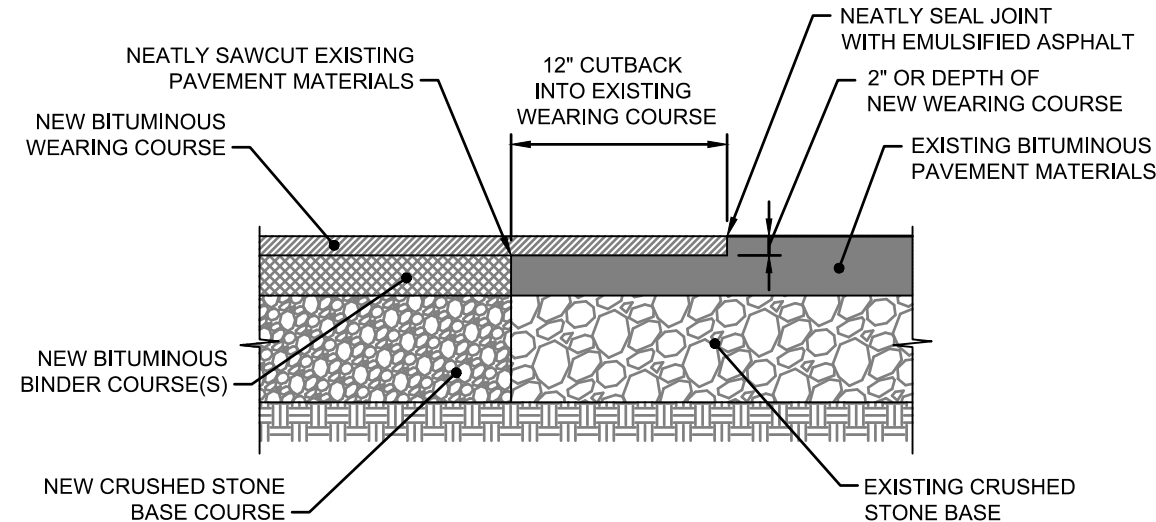
N.T.S

PAINTED TRAFFIC ARROW DETAIL

N.T.S

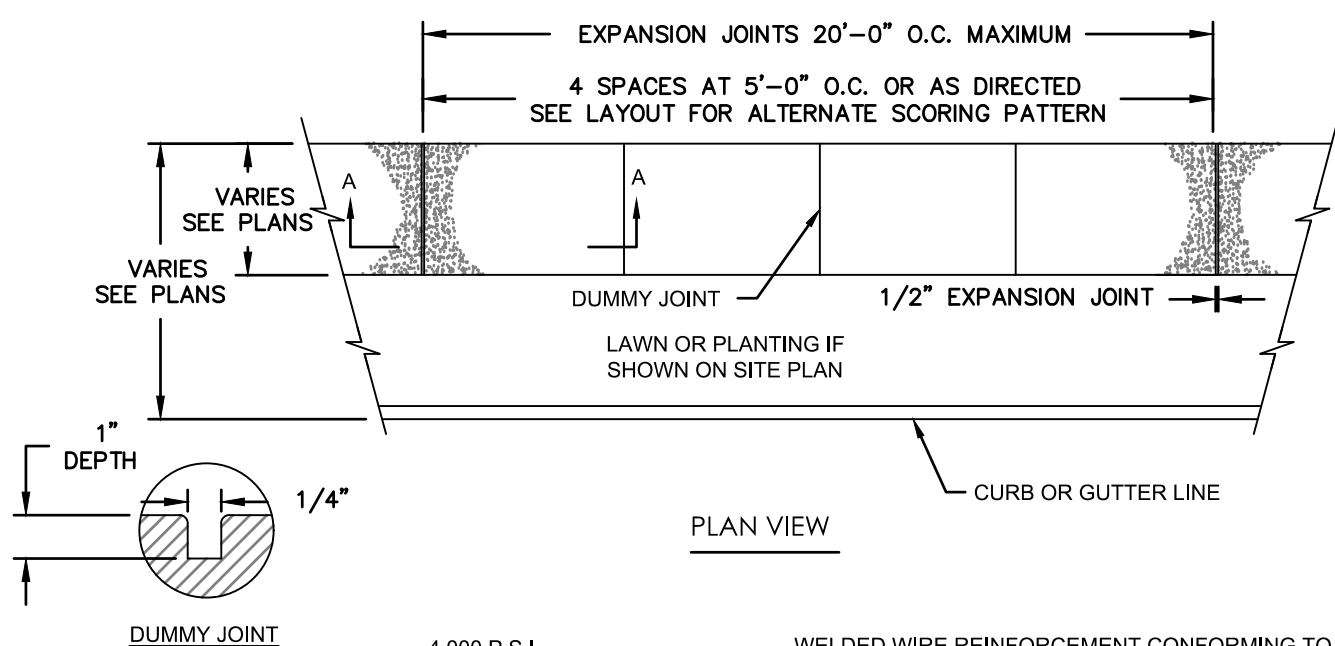
DUMPSTER PAD CONCRETE PAVEMENT SECTION

N.T.S



PAVEMENT JOINT WITH CUTBACK

N.T.S

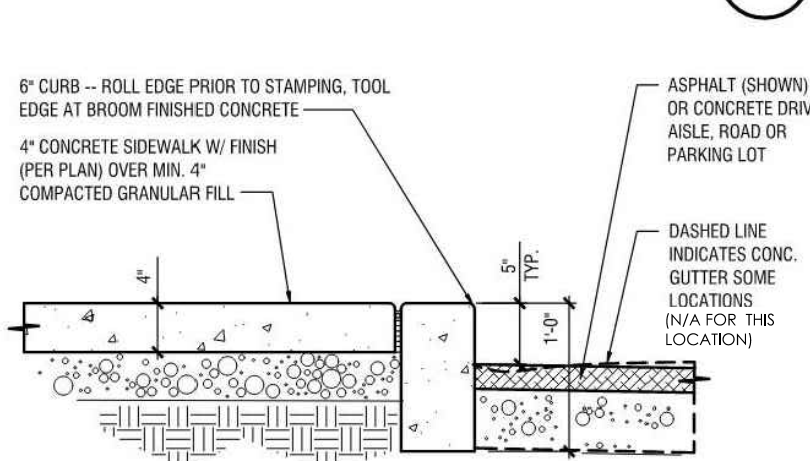
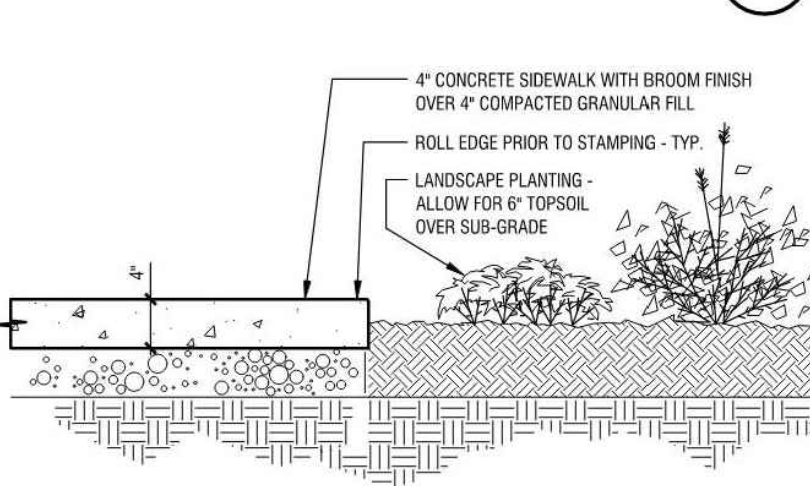


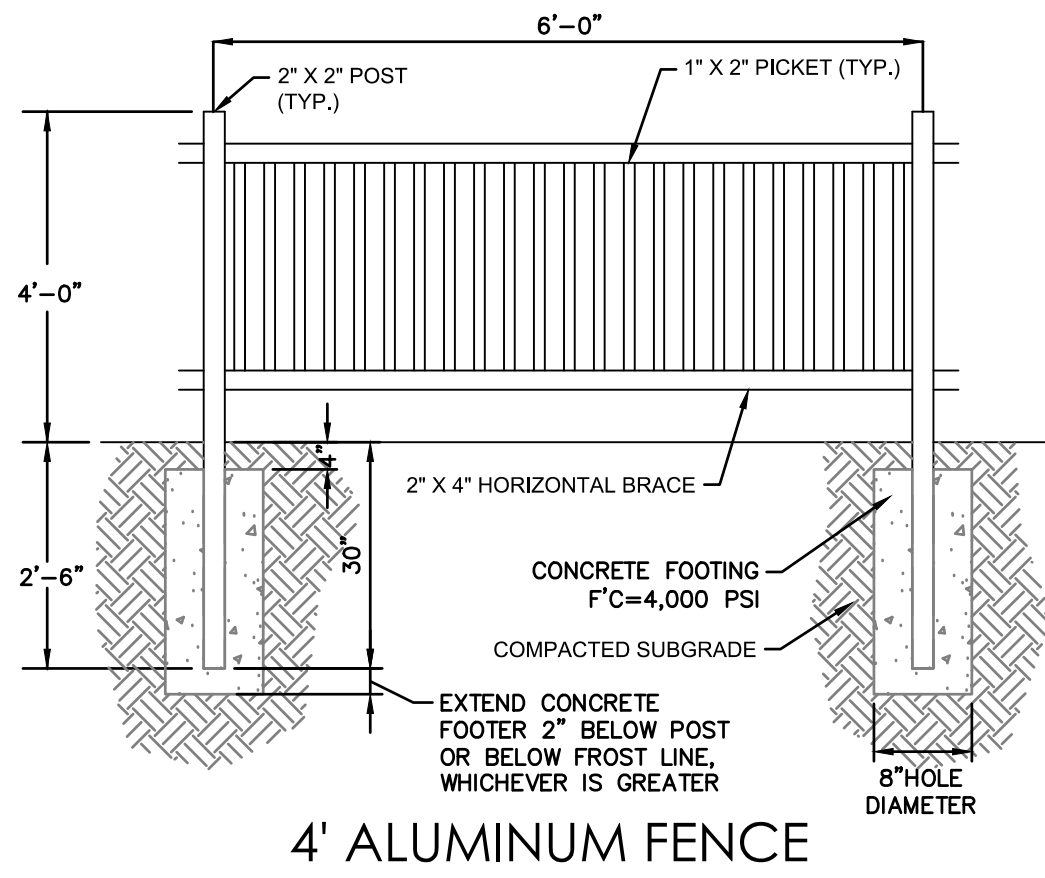
SECTION A-A

- NOTES:
- 1/4" WIDE x 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.
 - CONSTRUCTION EXPANSION JOINTS. 3/4" IN THICKNESS, SPACED EVERY 20' AND WHERE SIDEWALK ABUTS CURB, WALL, BUILDING, OR ANY OTHER STRUCTURE.
 - SIDEWALK TO BE BROOM FINISHED.
 - SIDEWALK CROSS SLOPE SHALL BE 2% MAXIMUM. SEE PLAN SHEET GD-1 FOR SPOT ELEVATIONS.
 - SIDEWALKS SHALL BE BOXED OUT AROUND LIGHT STANDARDS, FIRE HYDRANTS, ETC., WITH PREMOLDED EXPANSION JOINT, 1/4" IN THICKNESS.

SIDEWALK DETAIL

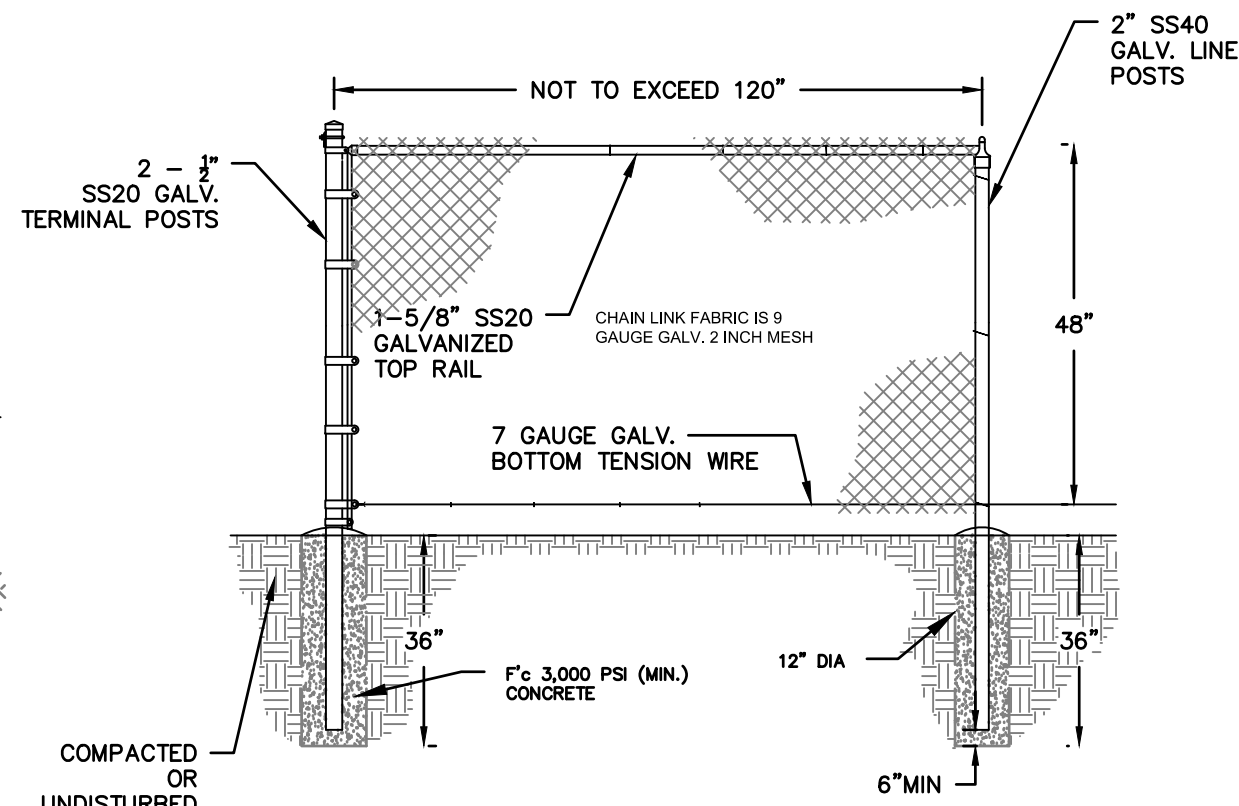
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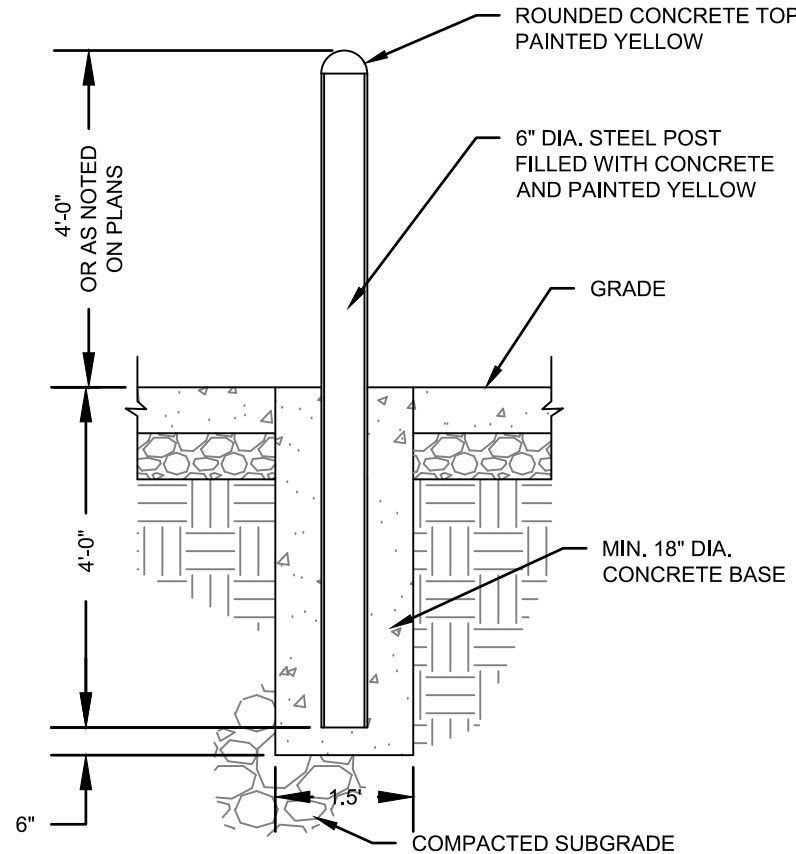
4' ALUMINUM FENCE

N.T.S.



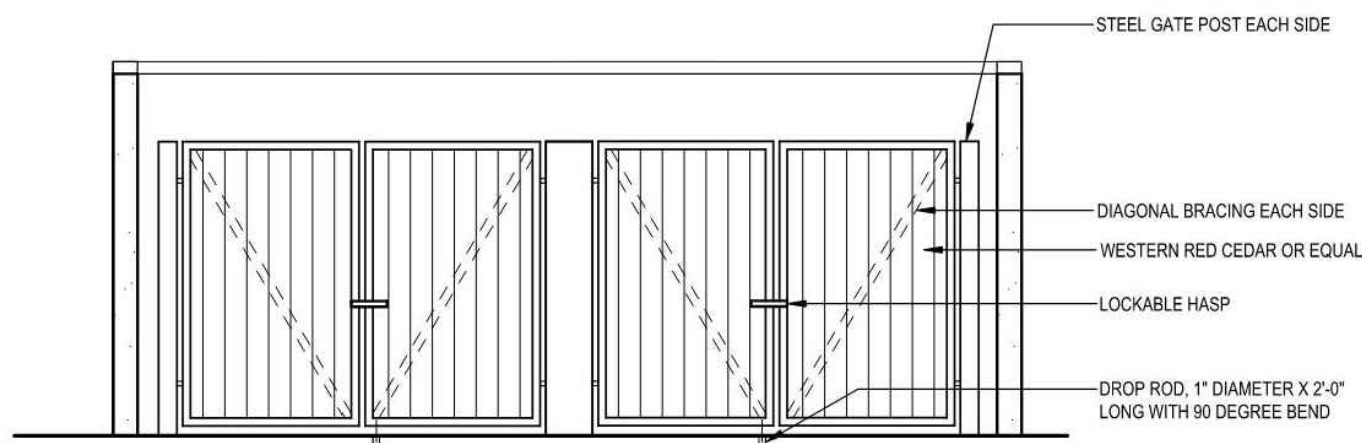
4' CHAINLINK FENCE

N.T.S.



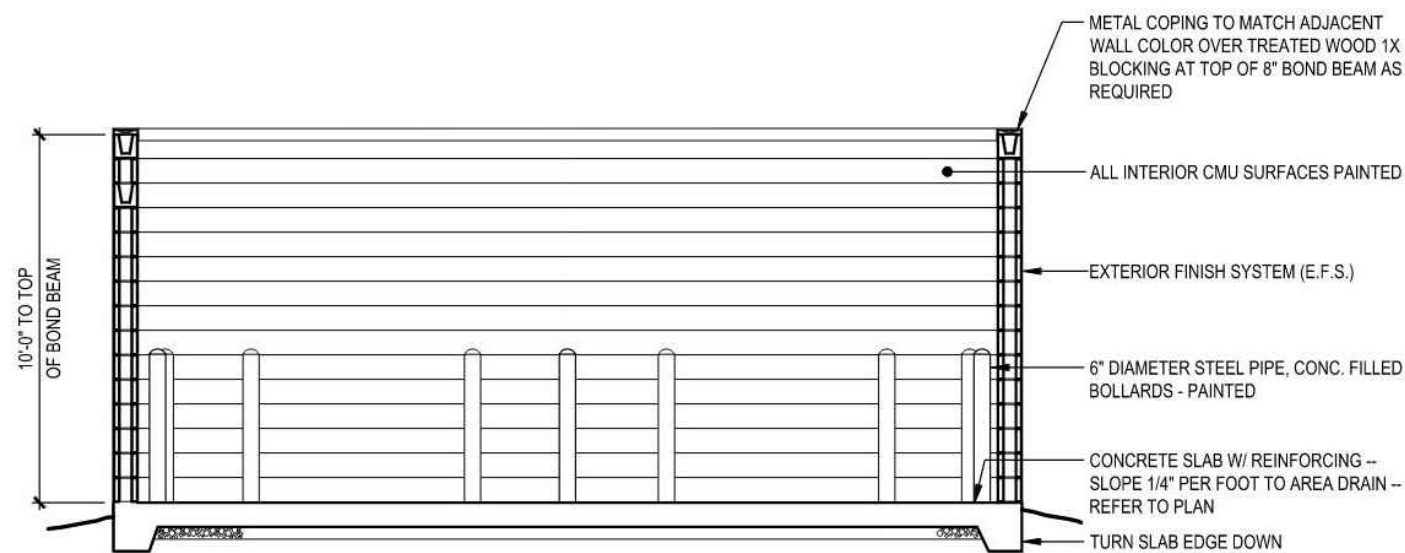
6" STEEL PROTECTIVE BOLLARD DETAIL

N.T.S.



TRASH & RECYCLE ENCLOSURE ELEVATION

N.T.S.



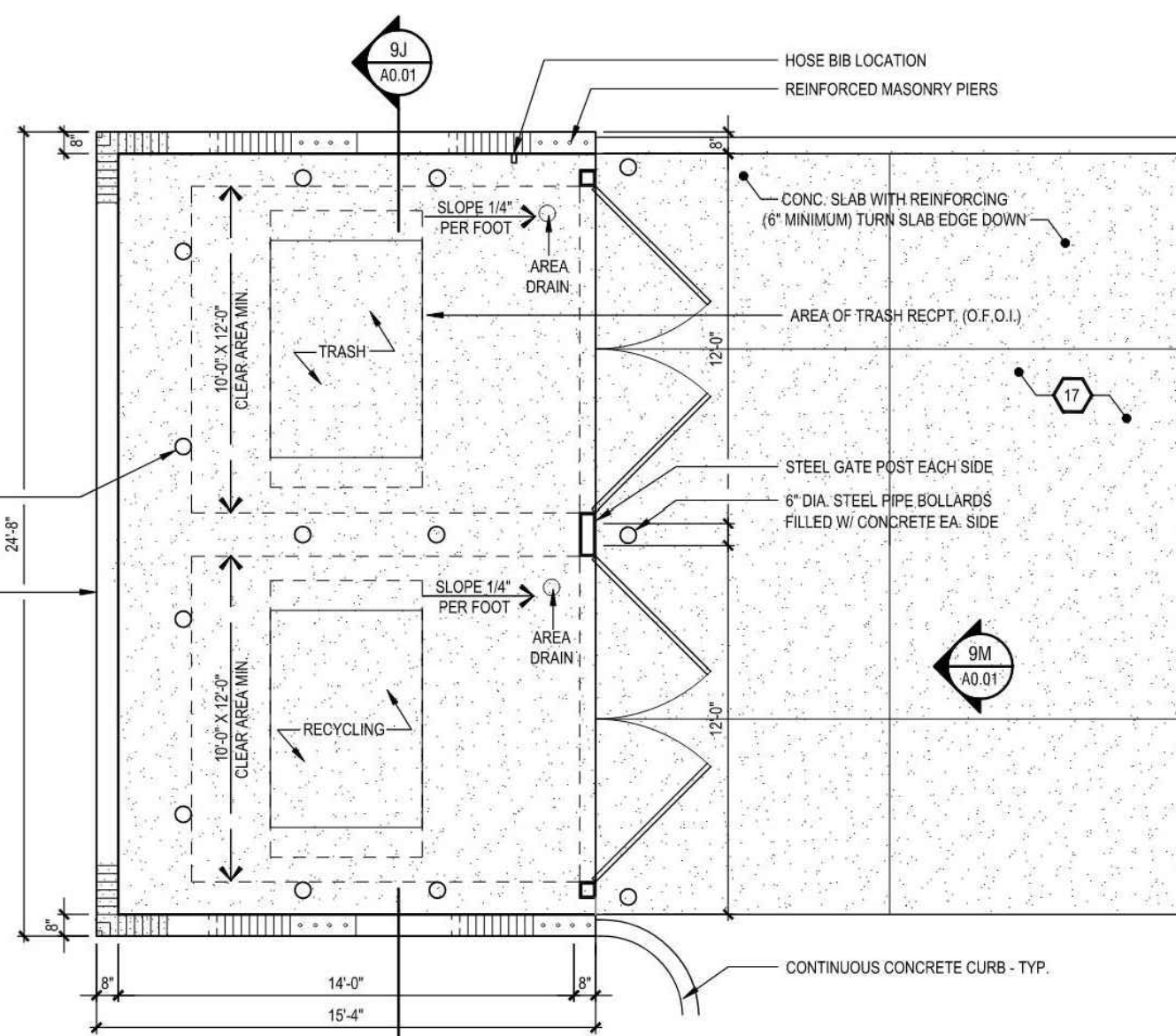
TRASH & RECYCLE ENCLOSURE SECTION

N.T.S. - GENERIC DETAIL IS PROVIDED FOR REFERENCE ONLY. SEE ARCHITECTURAL OR ASMEP PLANS FOR SITE SPECIFIC DETAIL.

- NOTES:
1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR
 2. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN HOTEL / TOWER

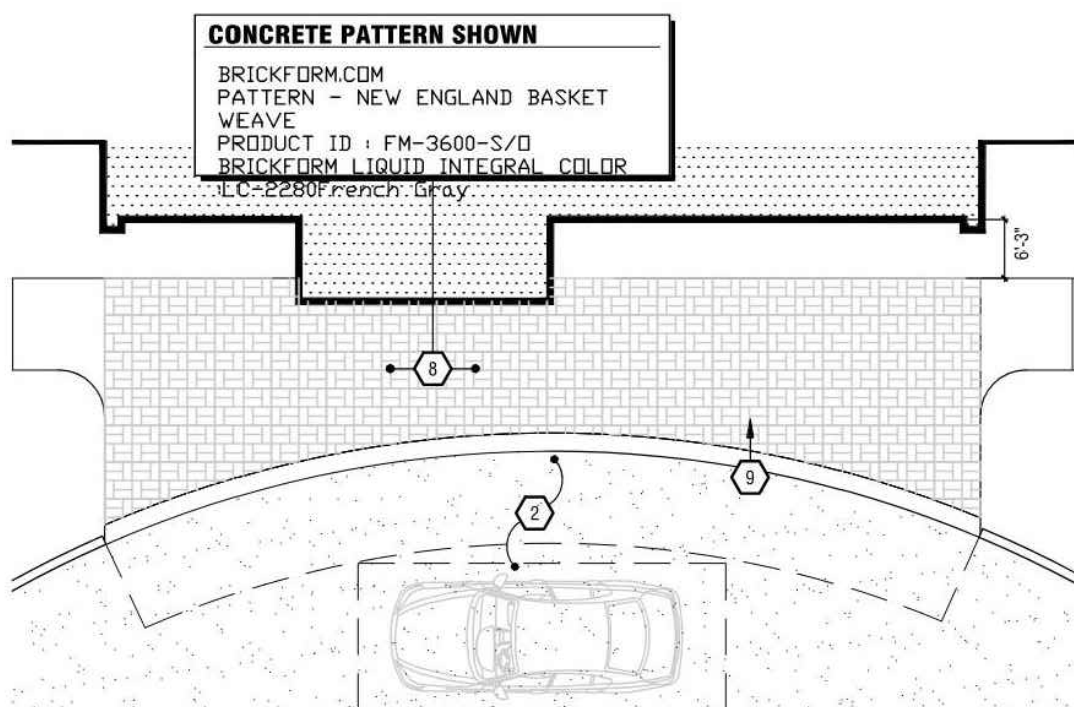
8" DIAMETER STEEL PIPE BOLLARDS FILLED W/ CONCRETE

REINFORCED CMU WALL WITH E.F.S. ON EXTERIOR FACES ONLY



TRASH & RECYCLE ENCLOSURE ENLARGED PLAN

N.T.S. - GENERIC DETAIL IS PROVIDED FOR REFERENCE ONLY. SEE ARCHITECTURAL OR ASMEP PLANS FOR SITE SPECIFIC DETAIL.

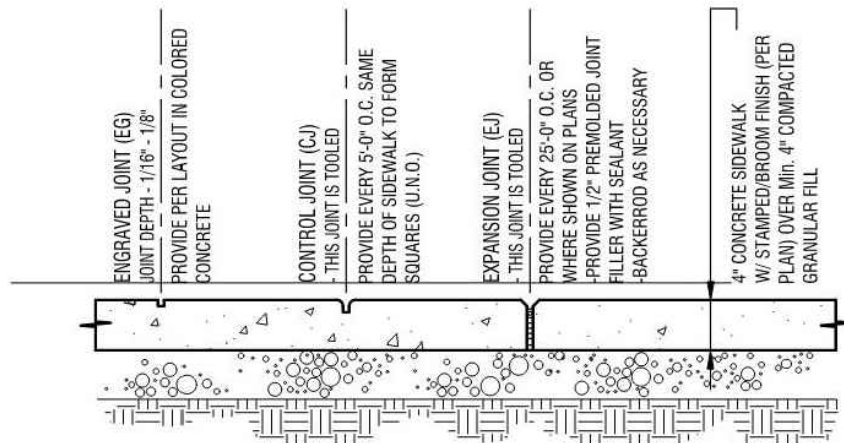


KEY NOTES:

2. ACCESSIBLE PASSAGEWAY DROP OFF AREA - PROVIDE 8'-0" WIDE AND 20'-0" LONG SPACE (MIN) WITH ADJACENT 60" WIDE CLEAR ACCESS WHILE REQUIRED CLEARANCES SHOWN (DASHED) - DROP OFF & ACCESS AREA SHALL BE @ THE SAME LEVEL AS WALK & SHALL HAVE A SLOPE NOT TO EXCEED 1/4" IN 6" (AS RECOMMENDED) - REFER TO THE HAZOP FOR MORE INFORMATION REGARDING ACCESSIBLE PASSAGEWAY LANDING ZONES
6. STAMPED COLORED CONCRETE SIDEWALK - REFER TO TYP BY LOCAL BRAND STANDARDS FOR SPECIFICATIONS (ACCEPTABLE MATERIALS INCLUDE BRICK, STONE, STAMPED CONCRETE) PROVIDE JOINTS AS SHOWN - PROVIDE ENGRAVED CONTROL JOINTS (CJ) IN SIDEWALK
8. LINE OF CANOPY ROOF ABOVE
17. ASPHALT OR CONCRETE PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING - COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER

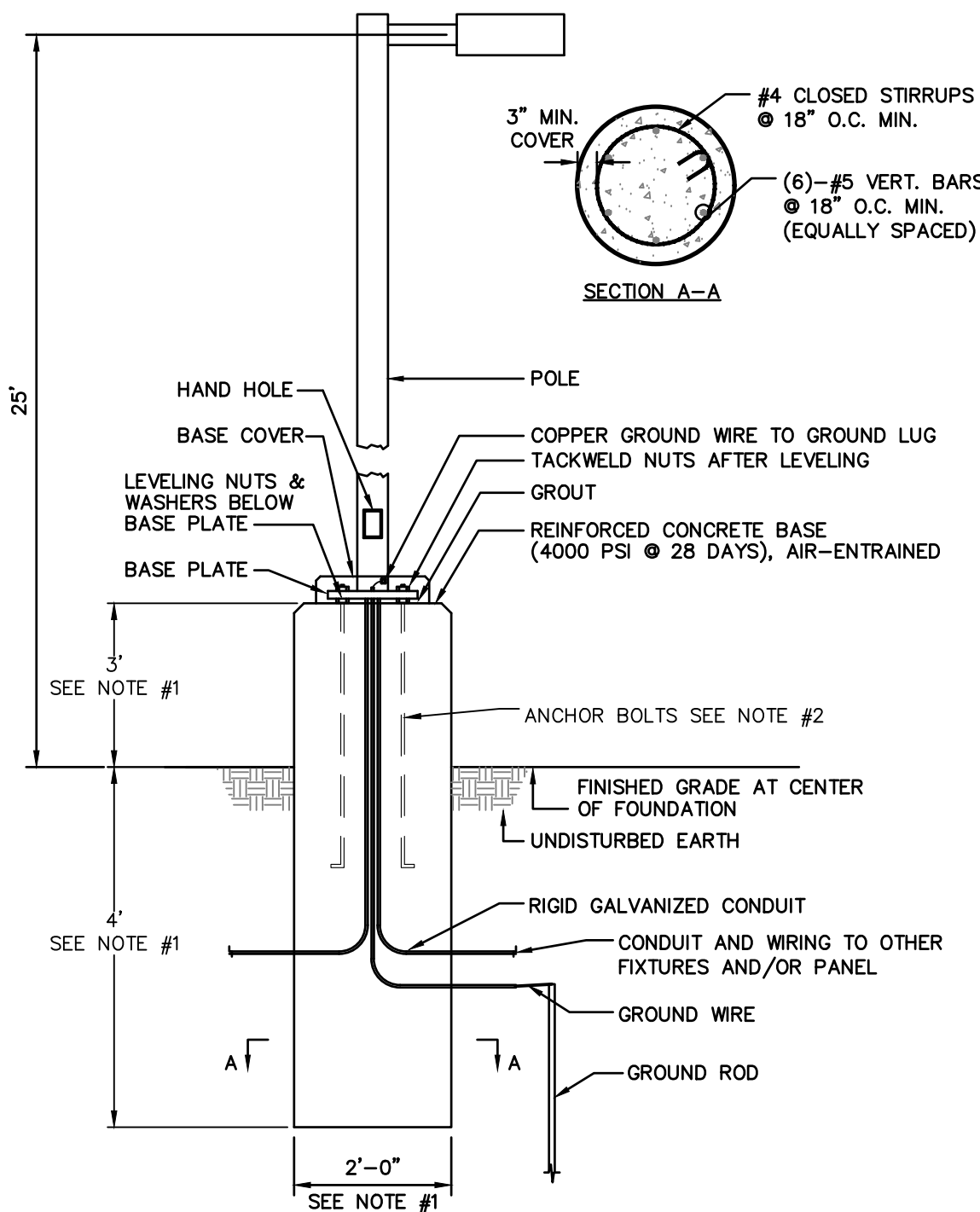
AREA DEVELOPMENT PLAN

N.T.S.



CONCRETE DETAIL

N.T.S.



- NOTES:
1. CONTRACTOR SHALL FURNISH DETAILED DRAWINGS WITH DESIGN CALCULATIONS FOR THE PROPOSED FOUNDATION PRIOR TO CONSTRUCTION AND ORDERING FOUNDATION MATERIALS. DRAWINGS AND CALCULATIONS MUST BE SIGNED AND SEALED BY A PENNSYLVANIA REGISTERED ENGINEER.
 2. ANCHOR BOLTS FURNISHED WITH POLE. BOLT PATTERN, SIZE AND LENGTH AS SPECIFIED BY MANUFACTURER.
 3. CONTRACTOR SHALL FURNISH AND INSTALL CONDUIT AND WIRING PER NEC REQUIREMENTS

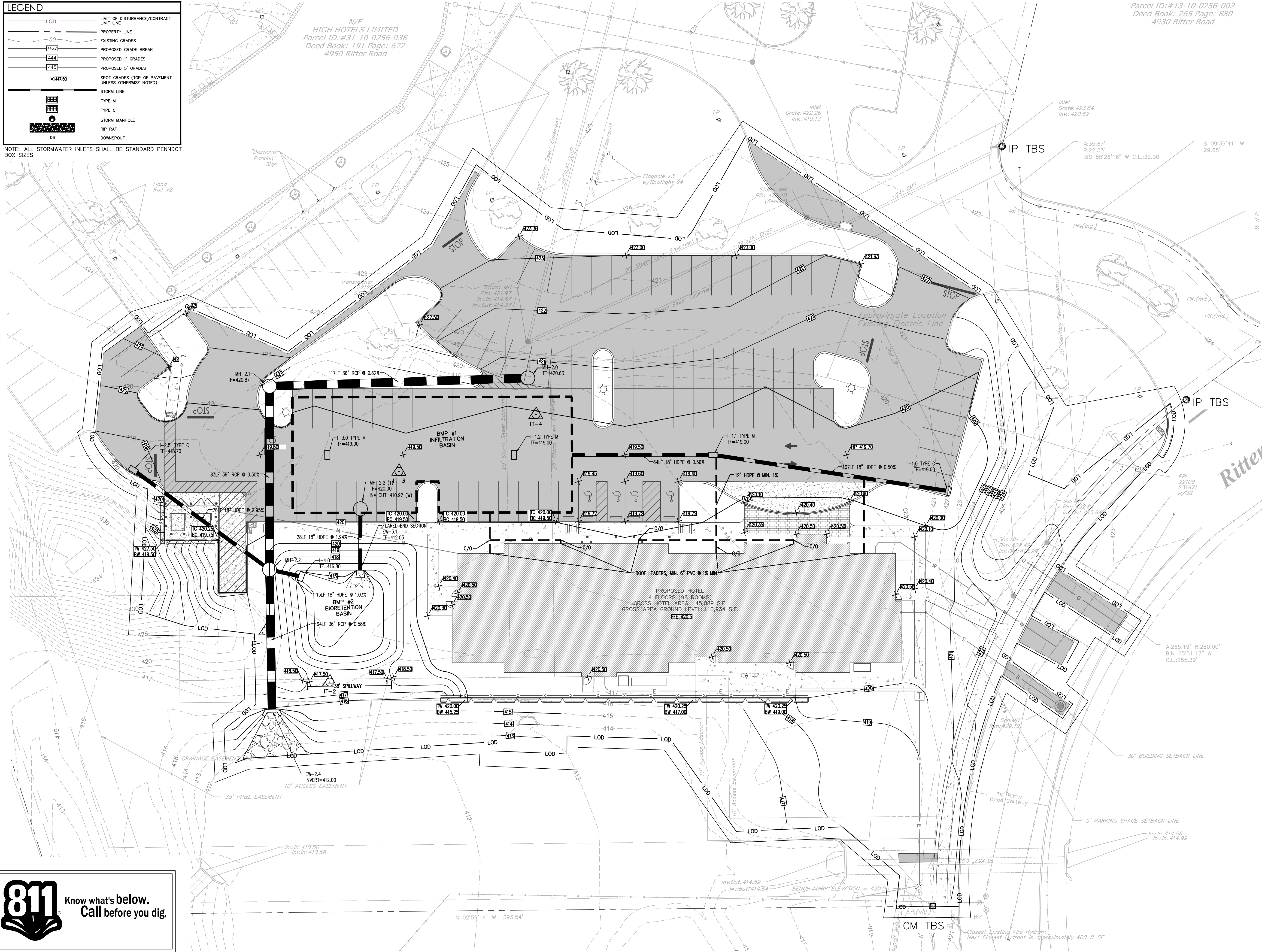
TYPICAL LIGHT POLE AND BASE DETAIL

N.T.S.

LEGEND

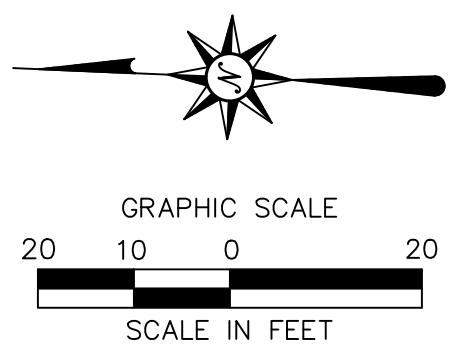
---	LOD	---	LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
---	EXISTING GRADES	---	PROPERTY LINE
---	PROPOSED GRADE BREAK	---	PROPOSED 1' GRADES
---	PROPOSED 5' GRADES	---	PROPOSED 5' GRADES
---	SPOT GRADES (TOP OF PAVEMENT UNLESS OTHERWISE NOTED)	---	STORM LINE
---	STORM LINE	---	TYPE M
---	TYPE C	---	STORM MANHOLE
---	RIP RAP	---	DOWNPOUT

NOTE: ALL STORMWATER INLETS SHALL BE STANDARD PENNDOT BOX SIZES



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PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552



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PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

REVISIONS		DESIGNED		C.L.H.	
No.	Date	Drawn	Reviewed	N.M.	
1	07/17/2024				
2	08/29/2024				
3	01/07/2025				

PER TOWNSHIP COMMENTS
PER TOWNSHIP COMMENTS
PER WATER COMPANY COMMENTS AND LOD SHEET

Project No. 2400139
Date 06/14/2024
CAD File: C2400139-20

GRADING AND DRAINAGE PLAN

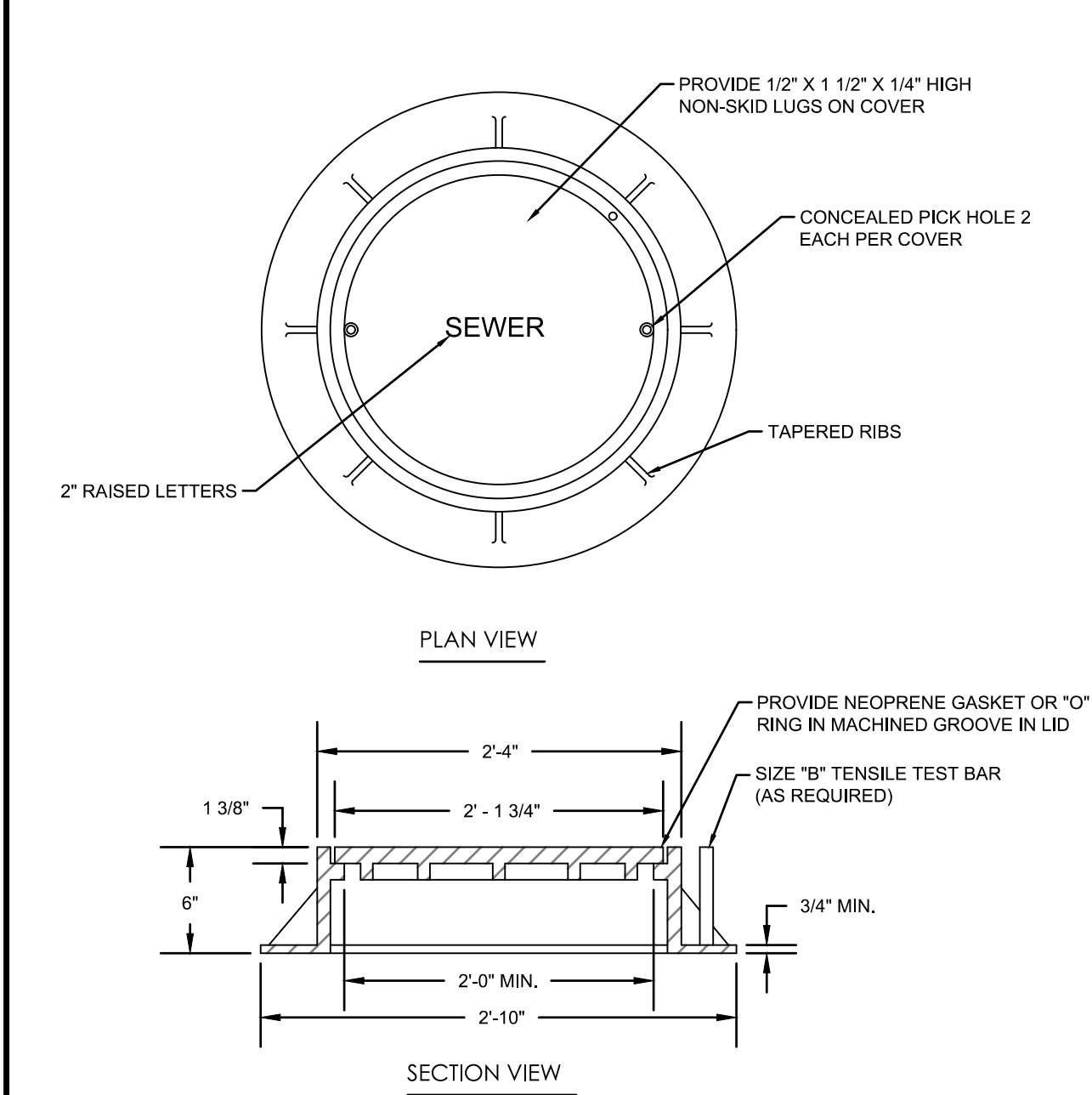
Sheet No.

C2.00
No. 10 of 20

4/3/2023, KALAMANDI, C:\0852\A\000\3400\3P\DWG\C2400139-11.DWG, C2.100

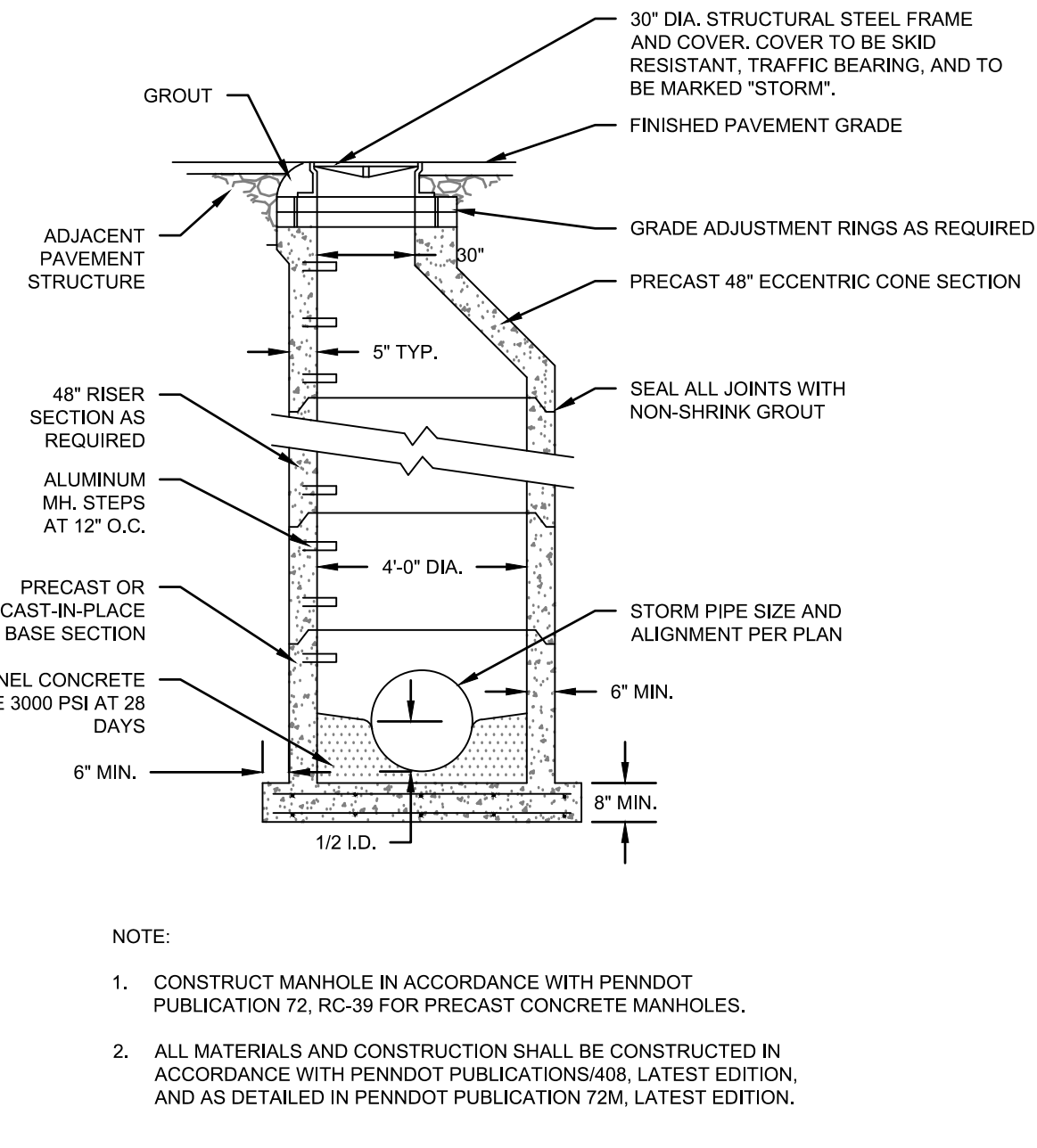
STANDARD MANHOLE FRAME AND COVER

N.T.S.



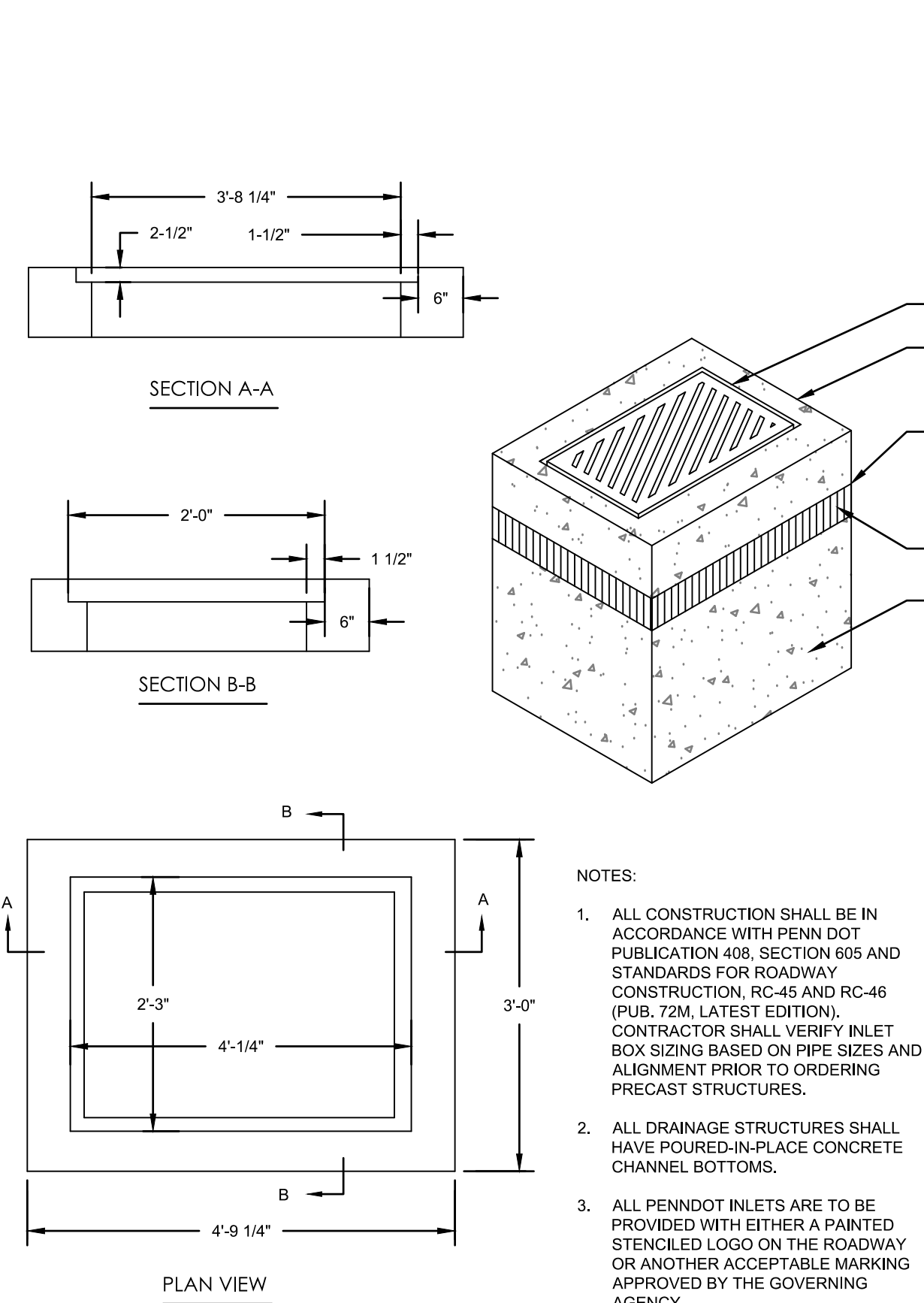
TYPICAL STORM SEWER MANHOLE

N.T.S.



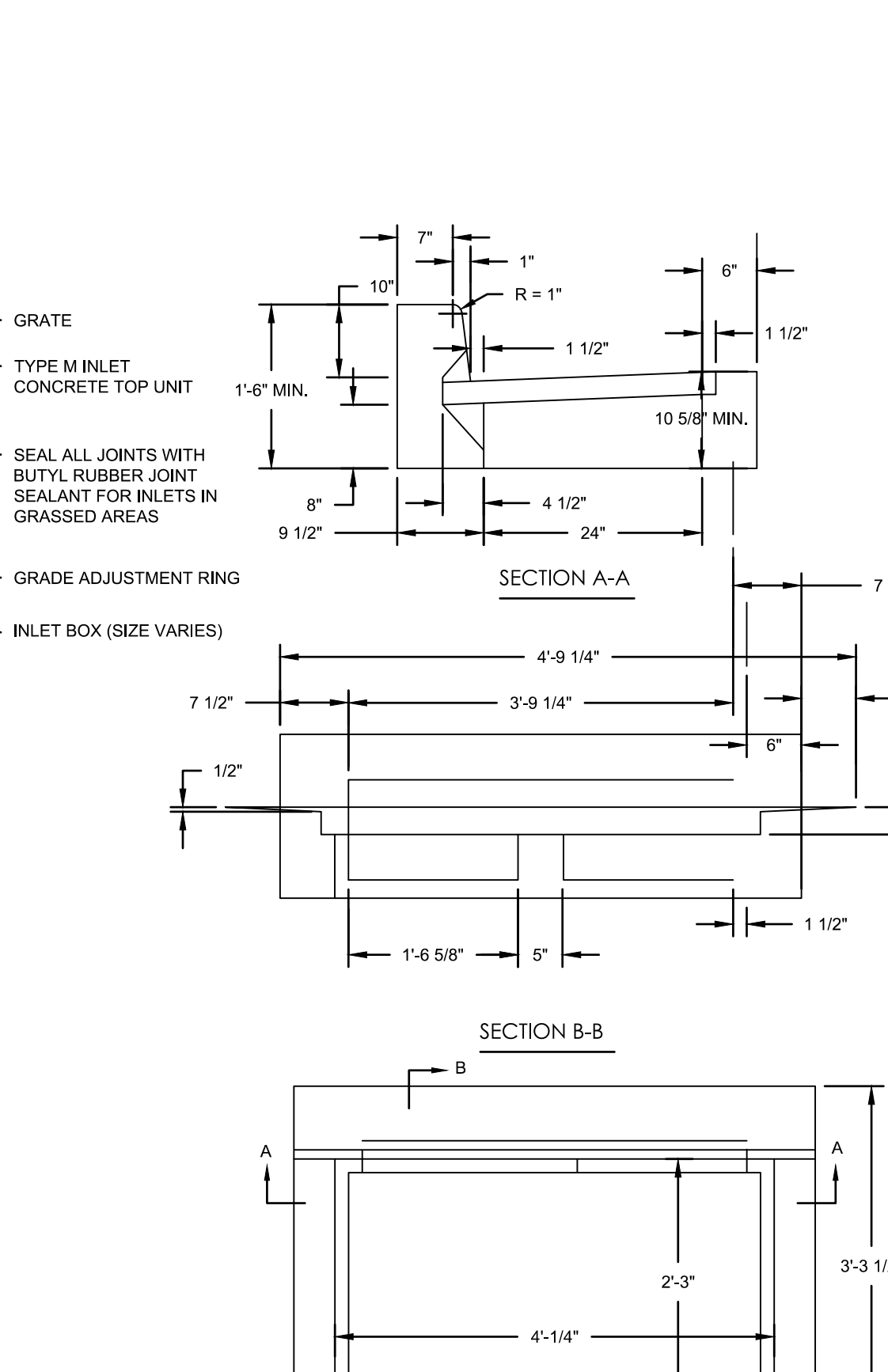
TYPE "M" INLET

N.T.S.



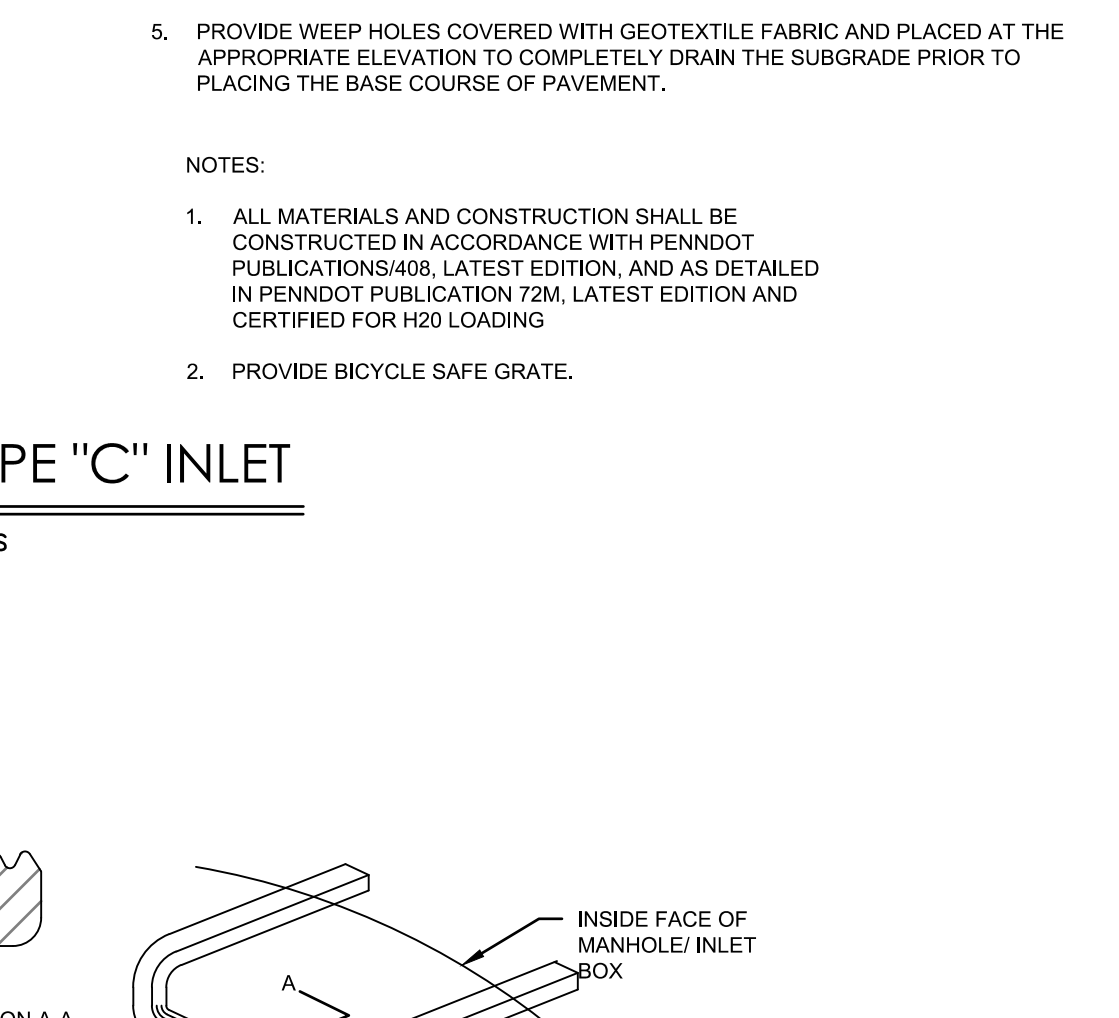
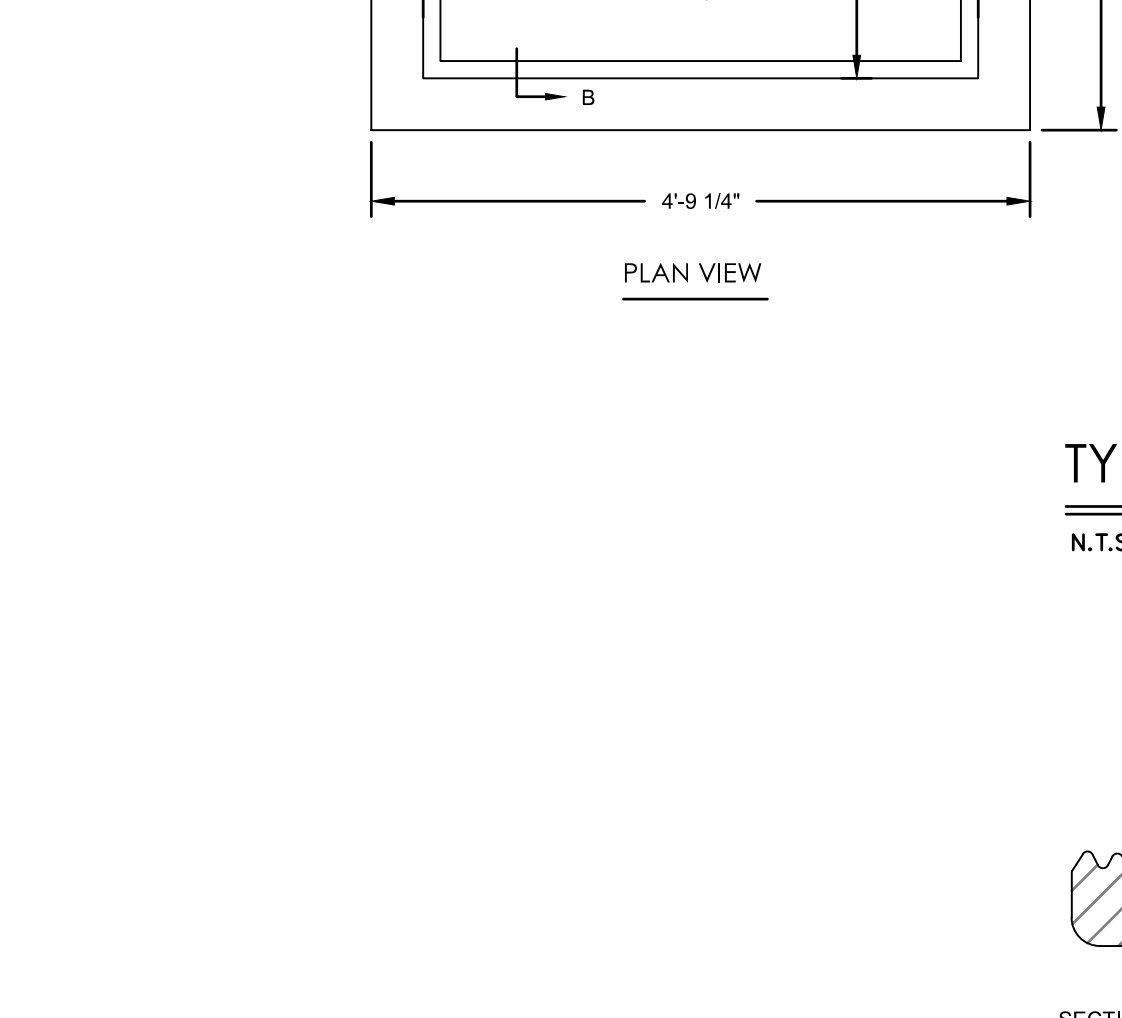
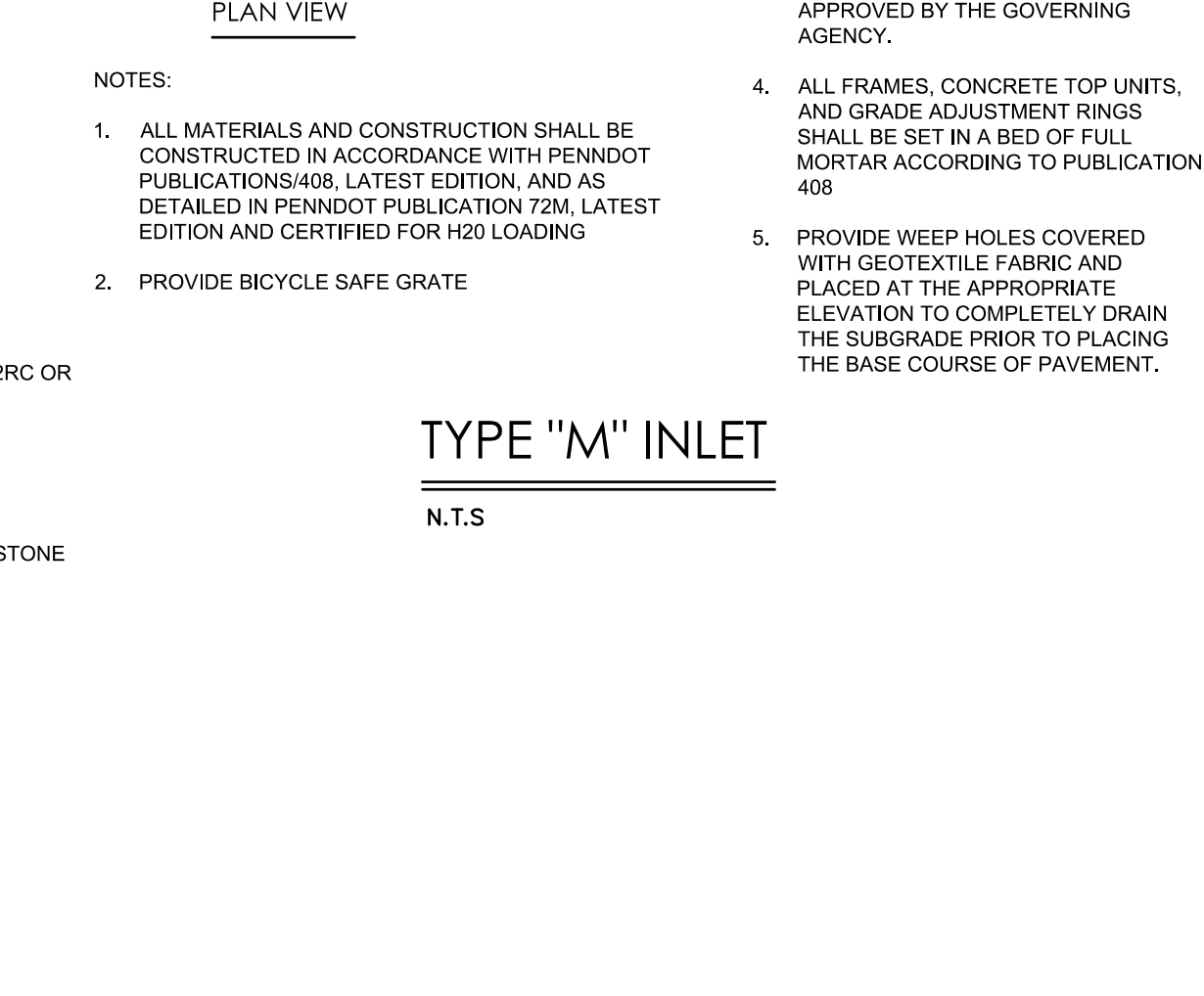
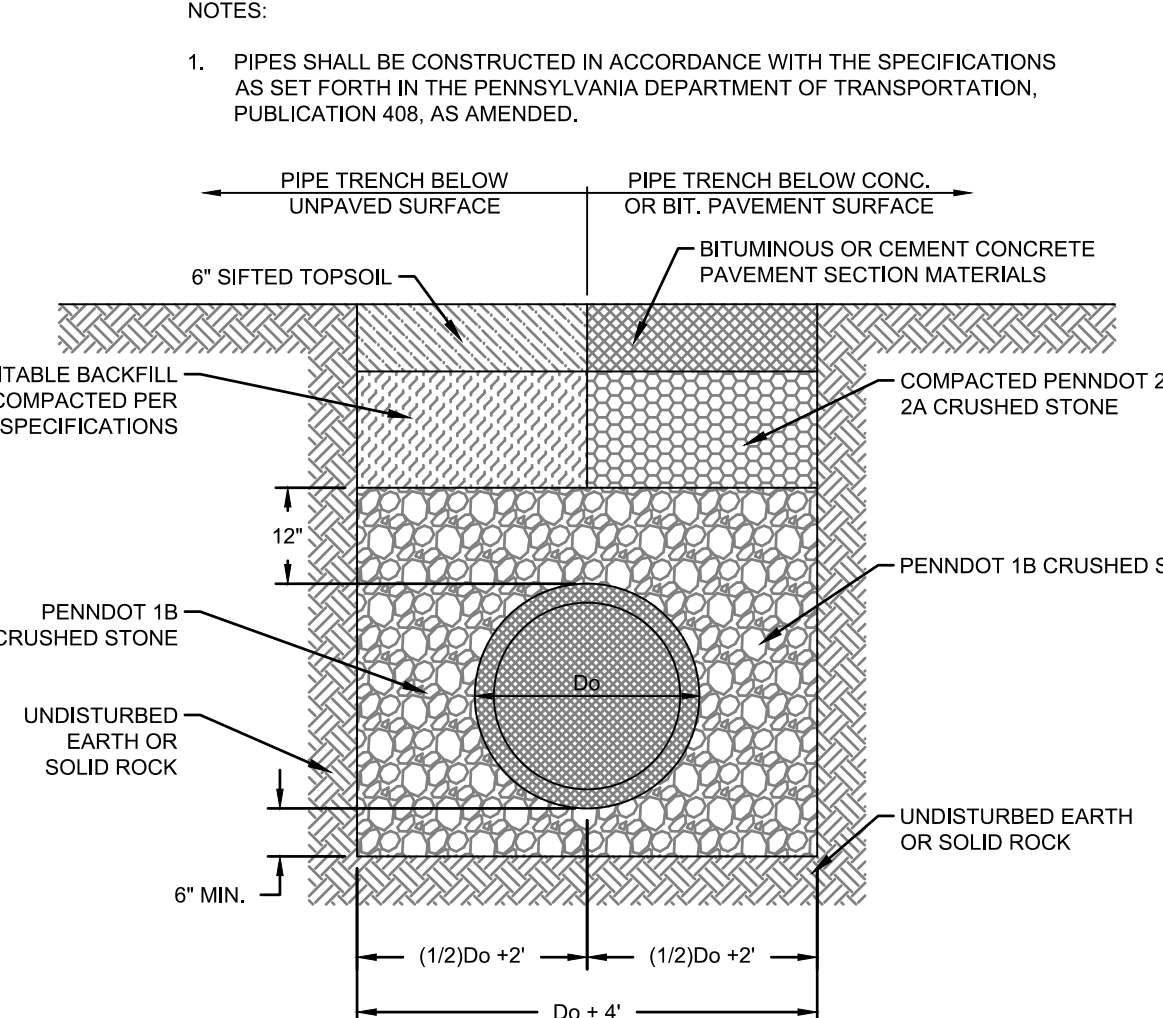
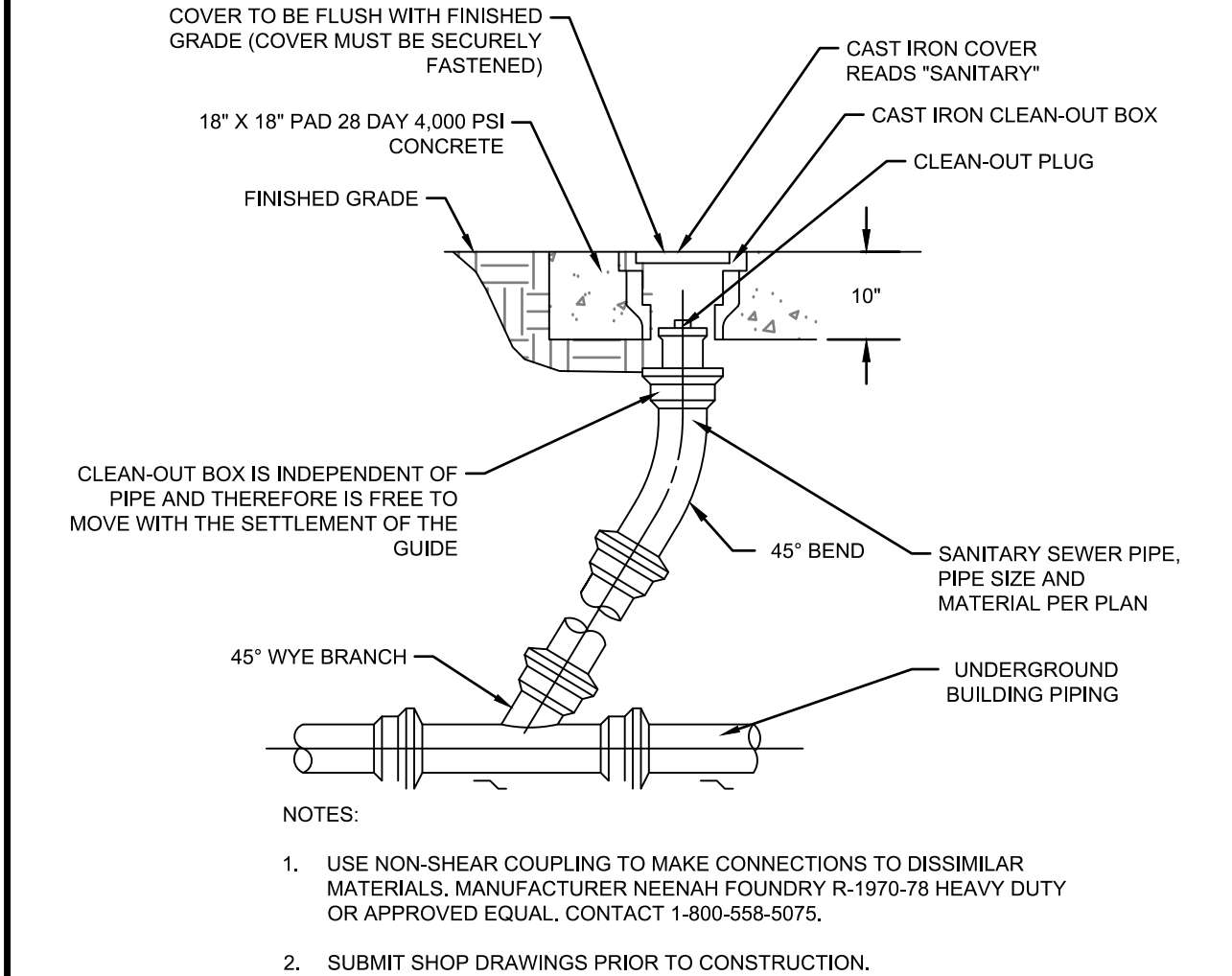
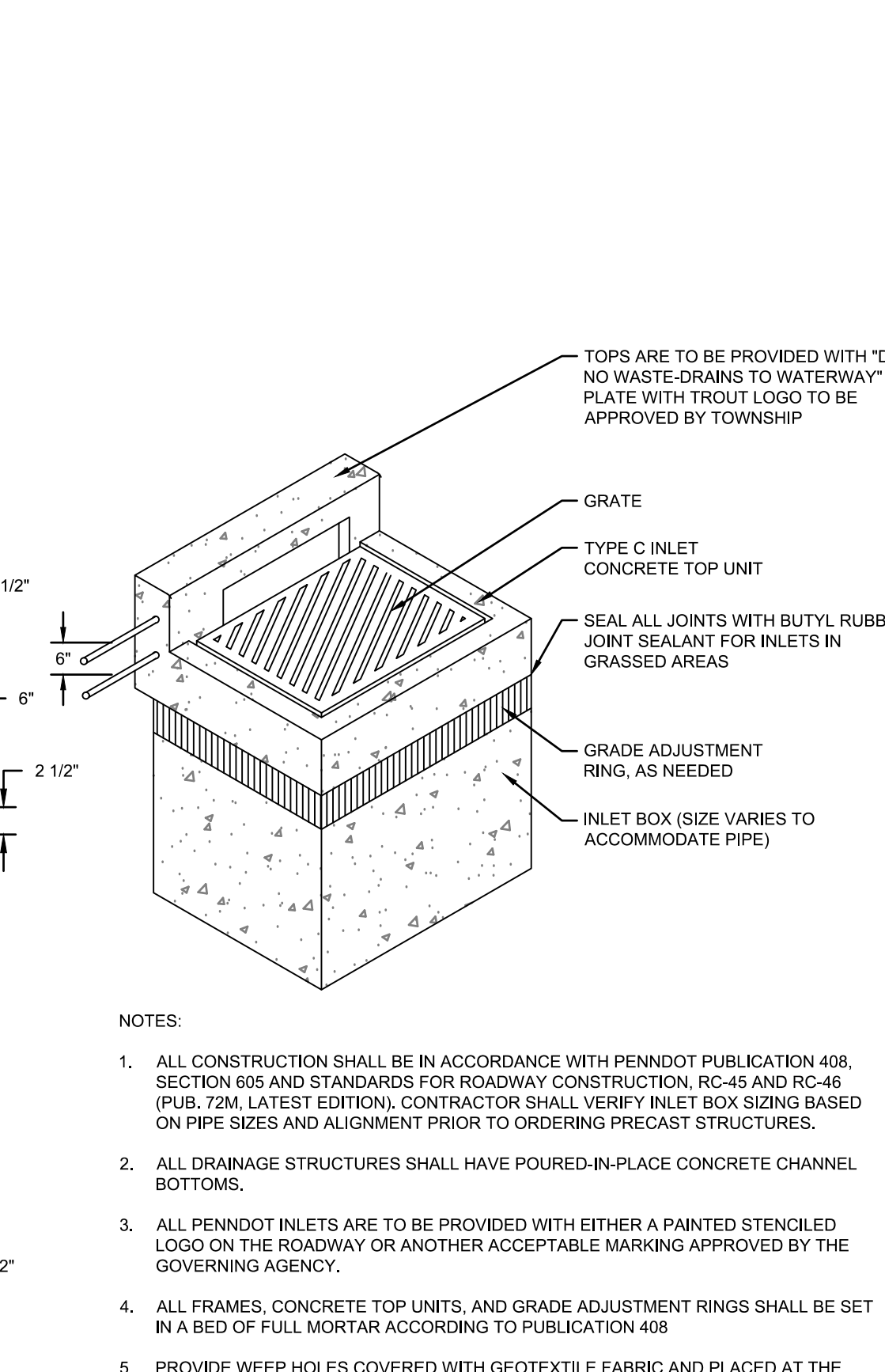
TYPE "C" INLET

N.T.S.



BIORETENTION BASIN CROSS SECTION (BMP 2)

N.T.S.



CLEANOUT DETAIL

N.T.S.

STORM PIPE TRENCH SECTION

N.T.S.

TYPE "M" INLET

N.T.S.

TYPE "C" INLET

N.T.S.

BIORETENTION BASIN CROSS SECTION (BMP 2)

N.T.S.

BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT				OUTLET BARREL				
			TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	BOTTOM ELEV BE (FT)	DIA B _d (IN)	INLET ELEV BIE (FT)	MAT'L	LENGTH B _I (FT)
2	3	3	418.50	8.0	2.00	4.00	414.00	18.0	412.73	RCP	13

BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT				OUTLET BARREL				
			TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	BOTTOM ELEV BE (FT)	DIA B _d (IN)	INLET ELEV BIE (FT)	MAT'L	LENGTH B _I (FT)
2	3	3	418.50	8.0	2.00	4.00	414.00	18.0	412.73	RCP	13

BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT				OUTLET BARREL				
			TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	BOTTOM ELEV BE (FT)	DIA B _d (IN)	INLET ELEV BIE (FT)	MAT'L	LENGTH B _I (FT)
2	3	3	418.50	8.0	2.00	4.00	414.00	18.0	412.73	RCP	13

BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT				OUTLET BARREL				
			TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	BOTTOM ELEV BE (FT)	DIA B _d (IN)	INLET ELEV BIE (FT)	MAT'L	LENGTH B _I (FT)
2	3	3	418.50	8.0	2.00	4.00	414.00	18.0	412.73	RCP	13

BASIN NO.	Z1 (FT)	Z2 (FT)	EMBANKMENT				OUTLET BARREL				
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2	3	3	418.50	8.0	2.00	4.00	414.00	18.0	412.73	RCP	13

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

Revisions table with columns: No., Date, Description, and a list of revisions.

Designed: C.L.H.
Drawn: N.M.
Reviewed: G.J.H.
Scale: N.T.S.
Project No.: 2400139
Date: 06/14/2024
CAD File: C2400139-110

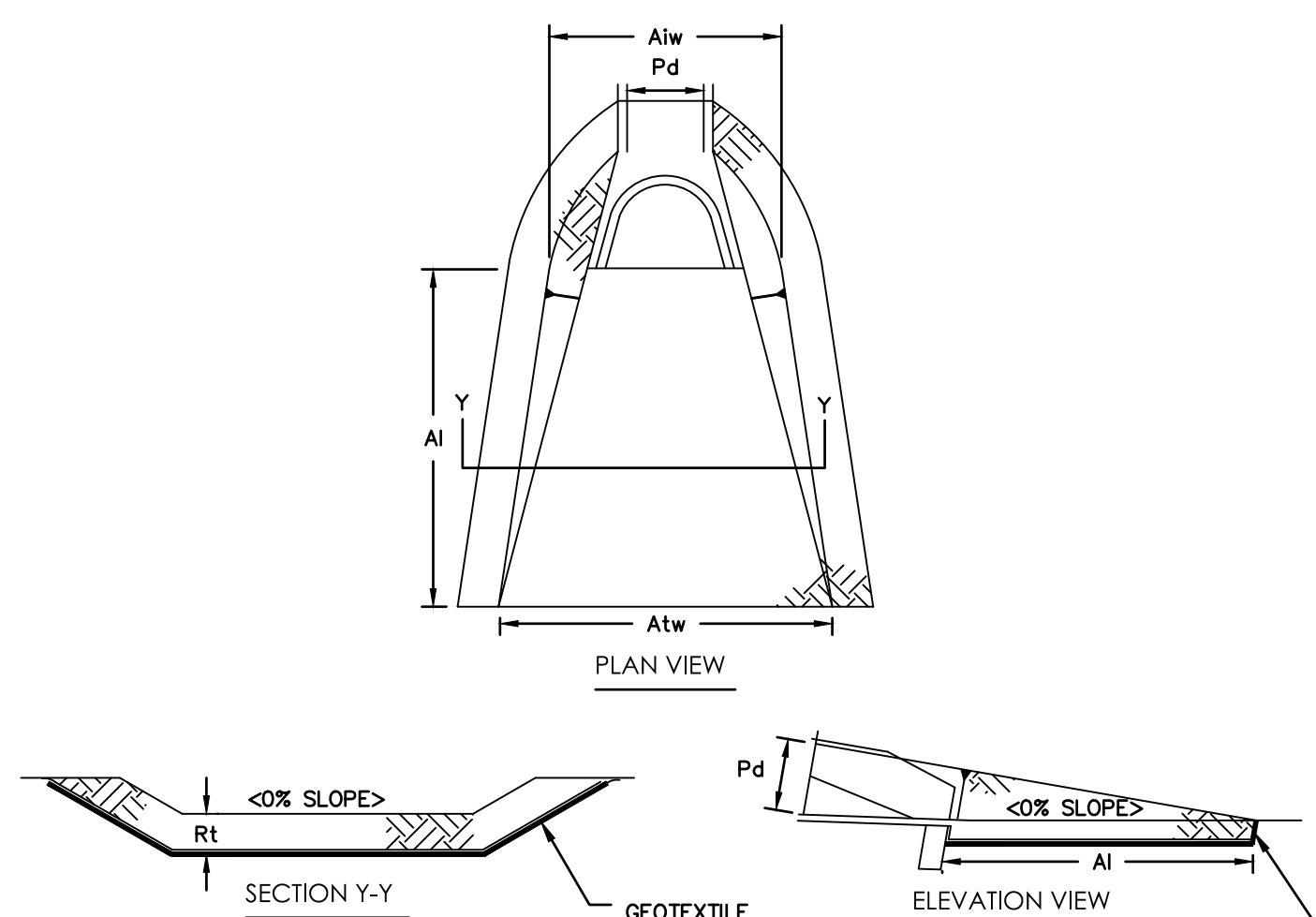
Sheet No. **C2.100**
No. 11 of 20

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OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R- <u> </u>)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
EW-2.4	36	5	27	20	9.00	29
EW-3.1	18	4	18	8	4.50	12.5

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

PAEC-9-1



1. ALL ENDWALLS AND HEADWALLS SHALL HAVE A TRASH SCREEN

N.T.S



HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.

DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.

THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

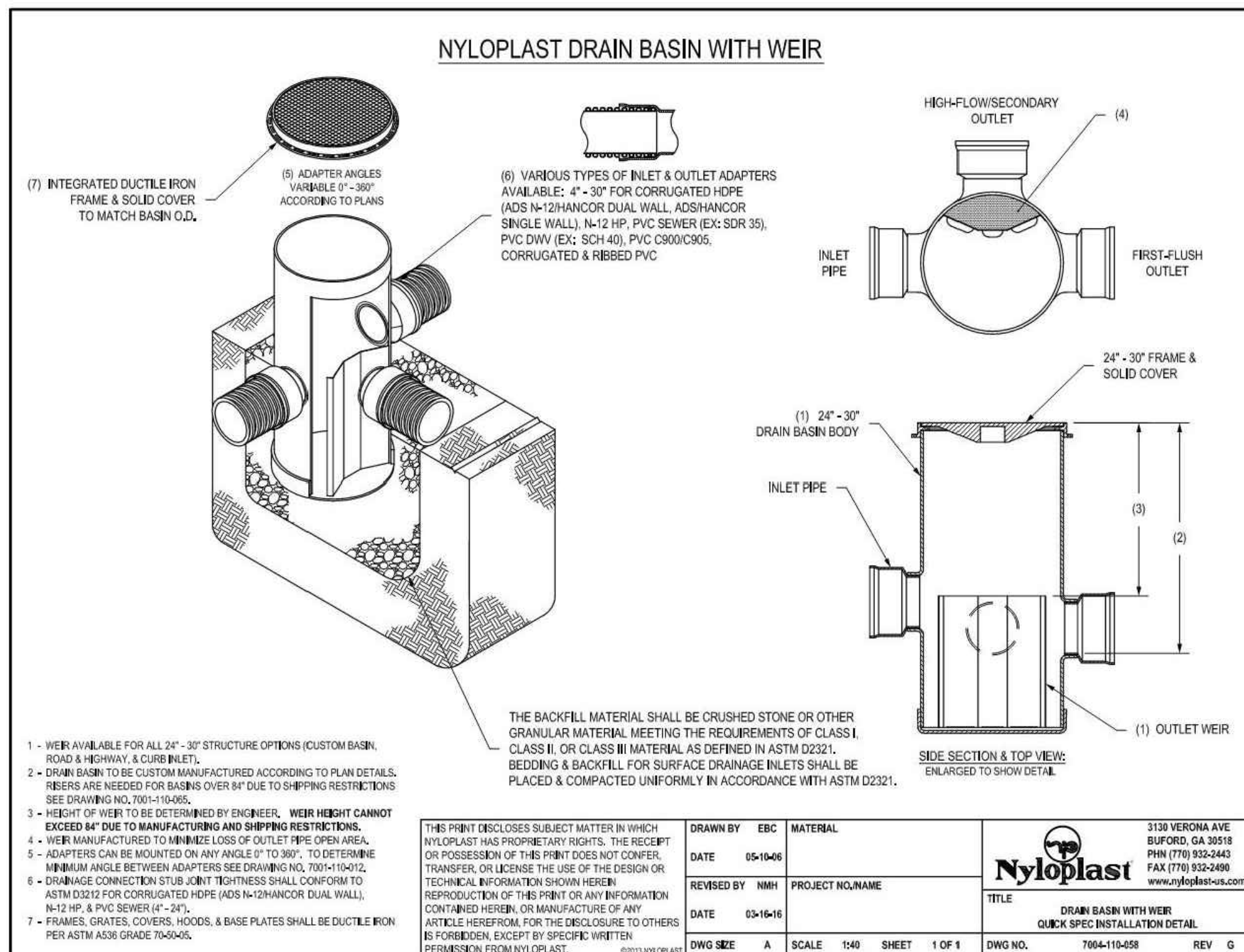
* SEE MANUFACTURER'S SPECIFICATIONS

PADEP-7-13

NOTE:

1. SINKHOLE REMEDIATION METHODS USING DURING CONSTRUCTION SHALL BE RECOMMENDED BY OR OVERSEEN BY A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER.

N.T.S



N.T.S

1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED BMPs. THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITEE).
2. ALL PCSM BMPs WILL BE INSPECTED ACCORDING TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT OR MAINTENANCE ACTIVITY.
3. SOIL, TRASH, DEBRIS OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 P.A. CODE 260.1 ET SEQ., 271.1, AND 289.1 ET SEQ. NO WASTES, UNUSED BUILDING MATERIALS OR OTHER MATERIALS SHALL BE BURNED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.

STORMWATER COLLECTION/CONVEYANCE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.	CLEAN ONCE PER YEAR & REPAIR AS NEEDED
INSPECT OUTFALL STRUCTURES QUARTERLY DURING 1ST YEAR & ONCE PER YEAR THEREAFTER.	QUARTERLY & ONCE PER YEAR
COLLECTION/CONVEYANCE SYSTEMS SHOULD BE INSPECTED FOR DEBRIS, TRASH, AND SEDIMENT ACCUMULATION TWICE PER YEAR MINIMUM AND AFTER STORM EVENTS OF 1" OR GREATER.	TWICE PER YEAR & AFTER 1" STORMS OR GREATER
GENERAL MAINTENANCE NOTES:	
1. VACUATION MAY BE AN EFFICIENT CLEANING MECHANISM. 2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.	

GENERAL MAINTENANCE NOTES

1. VACTOR TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM
2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.

OPERATION & MAINTENANCE PROCEDURES

<p>FIRST GROWING SEASON:WHenever VEGETATION REACHES A HEIGHT OF 18-24", TRIM TO A HEIGHT OF 8". HAND PULL UNWANTED VEGETATION AND INVASIVE SPECIES.</p> <p>SECOND GROWING SEASON: PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2", TRIM ALL VEGETATION DOWN TO 6". HAND PULL UNWANTED VEGETATION AND INVASIVE SPECIES.</p>	<p>FIRST AND SECOND GROWING SEASONS, AND AS NEEDED</p>
---	--

INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES. NOTE ERODED AREAS. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER IS PERCOLATING WITHIN THE DESIGN DEWATERING TIME (SEE BELOW).	TWICE PER YEAR
--	----------------

<p>IF AFTER A 2-YEAR STORM EVENT, WATER HAS NOT INFILTRATED WITHIN THE DESIGN DEWATERING TIME (SEE BELOW), WAIT UNTIL AFTER THE NEXT 2-YEAR STORM EVENT TO SEE IF DESIGN DEWATERING TIME HAS BEEN ACHIEVED. IF THE BASIN IS STILL NOT DEWATERING APPROPRIATELY, CONTACT A QUALIFIED PROFESSIONAL TO EVALUATE THE BMP AND IMMEDIATELY CORRECT THE DETERMINED MALFUNCTION TO ACHIEVE DEWATERING TIMES AS FOLLOWS:</p> <p>BASIN 1: 24 - 72 HOURS</p>	<p>TWICE PER YEAR FOR FIRST THREE YEARS</p>
---	---

1. VEGETATION ALONG THE SURFACE OF THE BASIN BOTTOM SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
2. VEGETATIVE COVER SHALL BE MAINTAINED AT A MINIMUM OF 95%.
3. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON BASIN BOTTOM, AVOID COMPACTION.
4. DURING PERIODS OF EXTENDED DROUGHT, INFILTRATION AREA MAY REQUIRE WATERING.

SUBSURFACE INFILTRATION BASIN (BMP 1)

ALL INLETS AND MANHOLES CONTRIBUTING TO THE SUBSURFACE FACILITY SHOULD BE VISUALLY INSPECTED FOR TRASH AND DEBRIS. IF TRASH OR DEBRIS IS FOUND, REMOVE FROM SYSTEM AND DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS. VACTOR TRUCKS OR SIMILAR EQUIPMENT MAY BE	MONTHLY
--	---------

NECESSARY TO ENSURE ALL TRASH AND DEBRIS IS REMOVED FROM THE INLETS, MANHOLES AND/OR SUBSURFACE INFILTRATION FACILITY.

THE SUBSURFACE SYSTEM SHALL BE VISUALLY INSPECTED VIA THE FACILITY'S MANHOLES FOR EVIDENCE OF STANDING WATER (LONGER THAN 72-HOURS AFTER A 2-YEAR 24-HOUR, 2.90 INCH, OR GREATER RAINFALL EVENT). IF STANDING WATER IS OBSERVED, THE OWNER SHALL CONTACT A LICENSED PROFESSIONAL ENGINEER TO	AS NEEDED AND TWICE PER YEAR
--	------------------------------------

PREPARE A CORRECTIVE ACTION PLAN. THE OWNER AND LICENSED PROFESSIONAL ENGINEER WILL BE RESPONSIBLE FOR SECURING ANY REQUIRED PERMIT MODIFICATIONS FROM CCCD AND PADEP PRIOR TO REMEDIATION.

<p>VISUALLY INSPECT THE SUBSURFACE SYSTEM VIA THE FACILITY'S MANHOLES FOR SALT OR OTHER CORROSIVE SUBSTANCE ACCUMULATIONS WITHIN THE SYSTEM. IF EVIDENCE IS FOUND, RINSE THE SYSTEM BY USE OF WATER AND VACTOR TRUCKS TO FLUSH OUT AND REMOVE ANY DEBRIS/POLLUTANTS FOUND IN THE SYSTEM. ALL DEBRIS/POLLUTANTS THAT ARE REMOVED FROM THE SYSTEM DURING FLUSHING SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS.</p>	<p>ONCE PER YEAR IN LATE SPRING AFTER FINAL SNOW-MELT</p>
---	---



STRUCTURE ID	STRUCTURE TYPE	BASIN BOTTOM ELEV.	ORIFICE ELEV.	ORIFICE H X W [IN]	RISER TOP ELEV.	OUTLET PIPE SIZE [IN]	OUTLET PIPE INVERT ELEV.
I-4.0	STANDARD	414.00	415.40	16.8" X 24"	416.80	1'-6"	412.73

NOTES

1. THE PROPOSED OUTLET STRUCTURE SHALL BE A STANDARD TYPE "M" INLET IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-45 AND RC-46.
2. IF RISER SECTIONS ARE REQUIRED TO PRODUCE AN INLET BOX OF SUFFICIENT HEIGHT TO MEET THE DIMENSIONS REQUIRED BY THE PROJECT, THE JOINT BETWEEN EACH INLET BOX RISER SECTION SHALL BE SEALED WITH BLACK PLASTIC SEALING COMPOUND.
3. GATE VALVE TO REMAIN IN CLOSED POSITION DURING NORMAL OPERATION AND TO BE USED FOR DEWATERING OF BASIN DURING MAINTENANCE ACTIVITIES.

N.T.S

GRADING AND DRAINAGE DETAILS



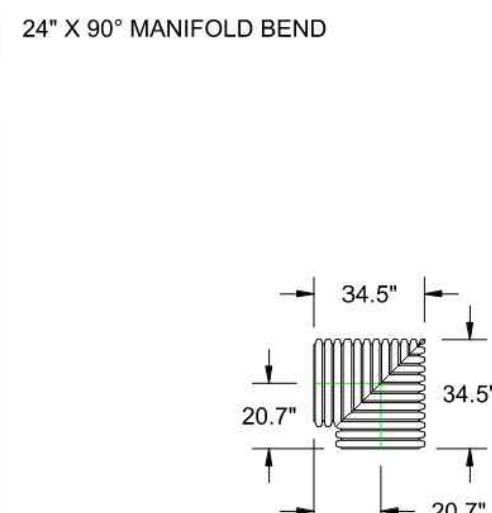
ADS RETENTION/DETENTION PIPE SYSTEM SPECIFICATION

NOTES

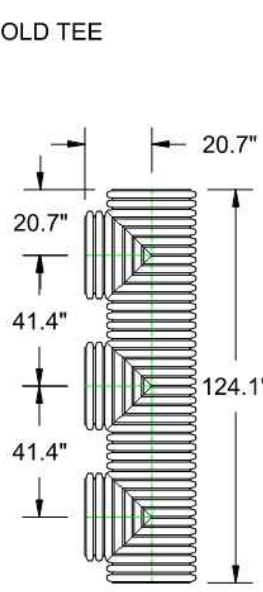
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CUSTOMER _____ DATE _____

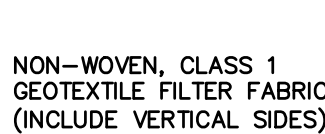
ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.



ITEM #: 1
QTY: 2
2498AN

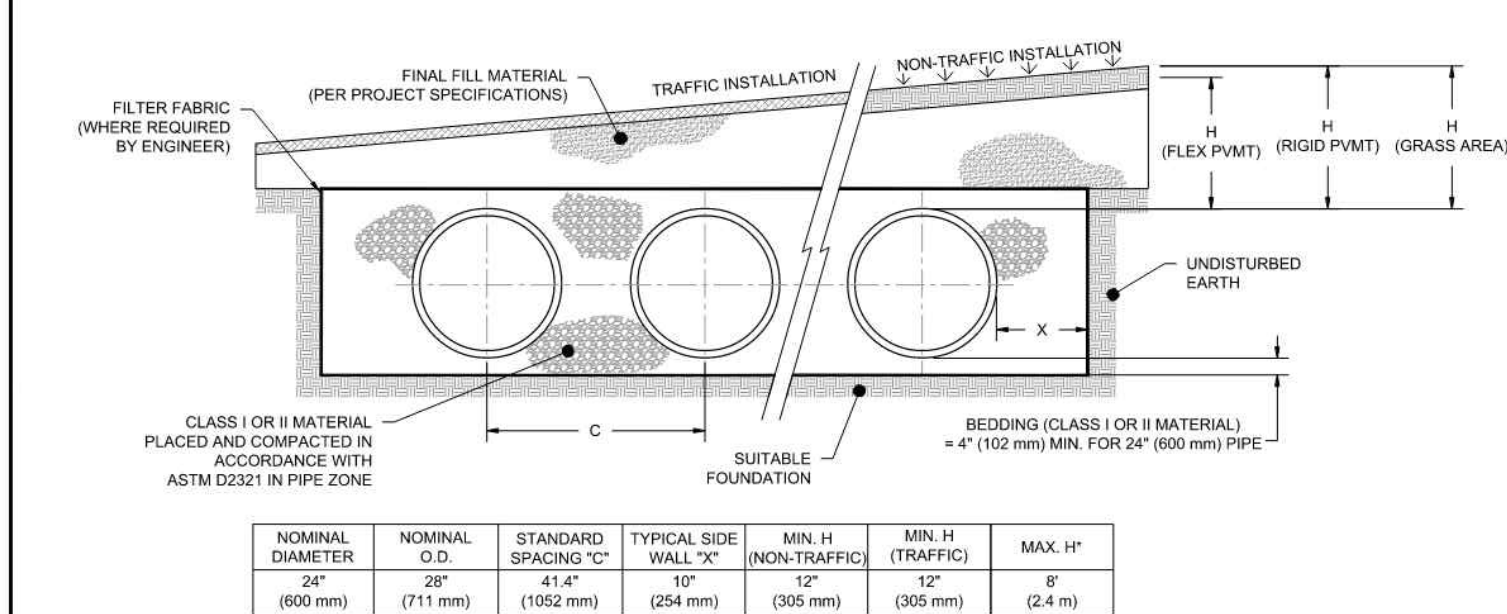


ITEM #: 2
QTY: 7
2453AN

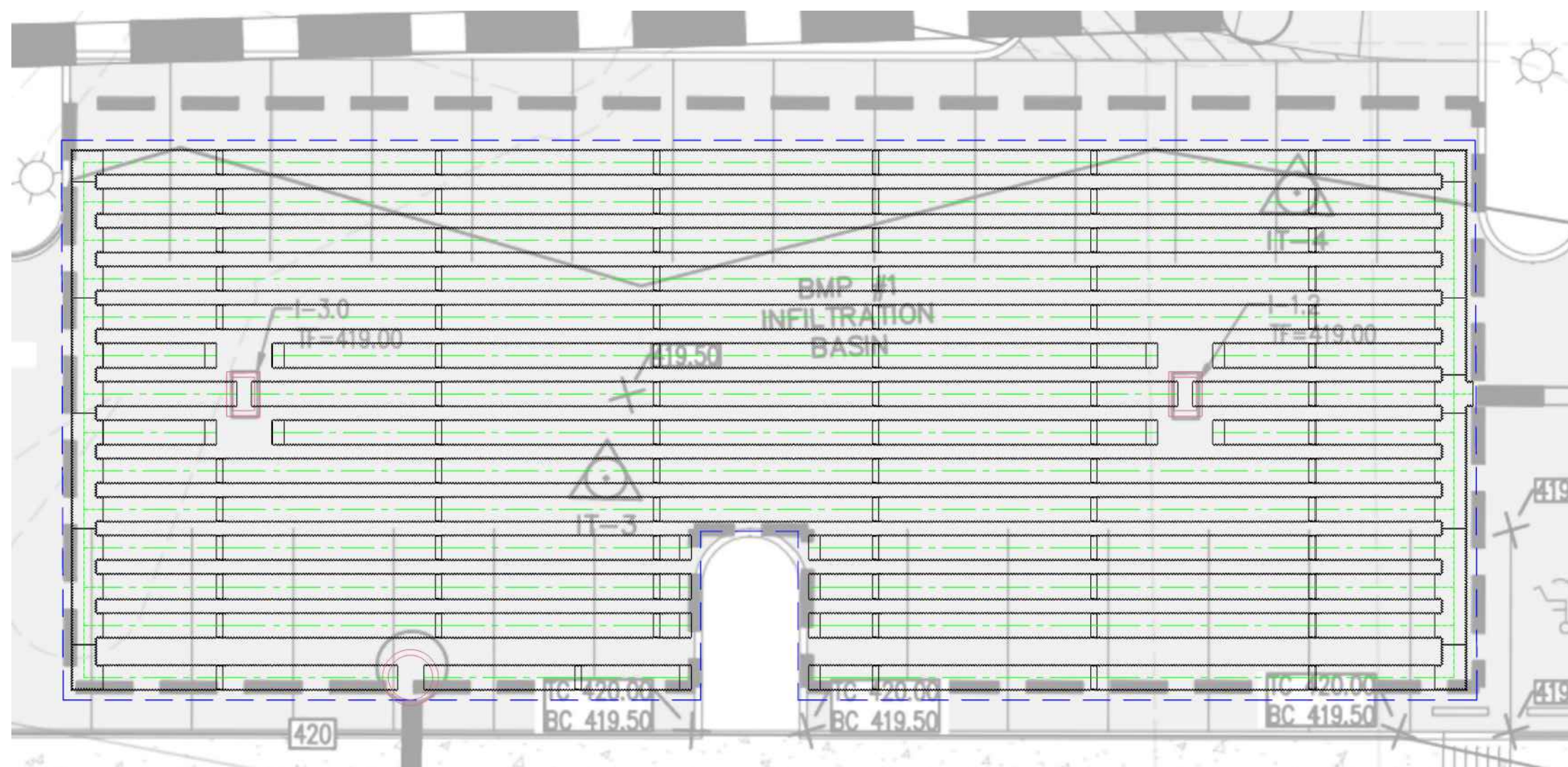


- ENGINEERED FILL MATERIAL SECTION

N.T.S

[illegible]

- [illegible]



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PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

Desc.
 PER TOWNSHIP COMMENTS
 PER TOWNSHIP COMMENTS
 PER WATER COMPANY COMMENTS AND LOG SHEET

REVISIONS	
No.	Date
1	07/17/2022
2	08/29/2022
3	01/09/2023

Designed	C.L.
Drawn	N.M.
Reviewed	G.J.
Scale	N.T.
Project No.	240013
Date	06/14/202

GRADING AND DRAINAGE DETAILS

Sheet No.

C2.102
No. 13 of 2

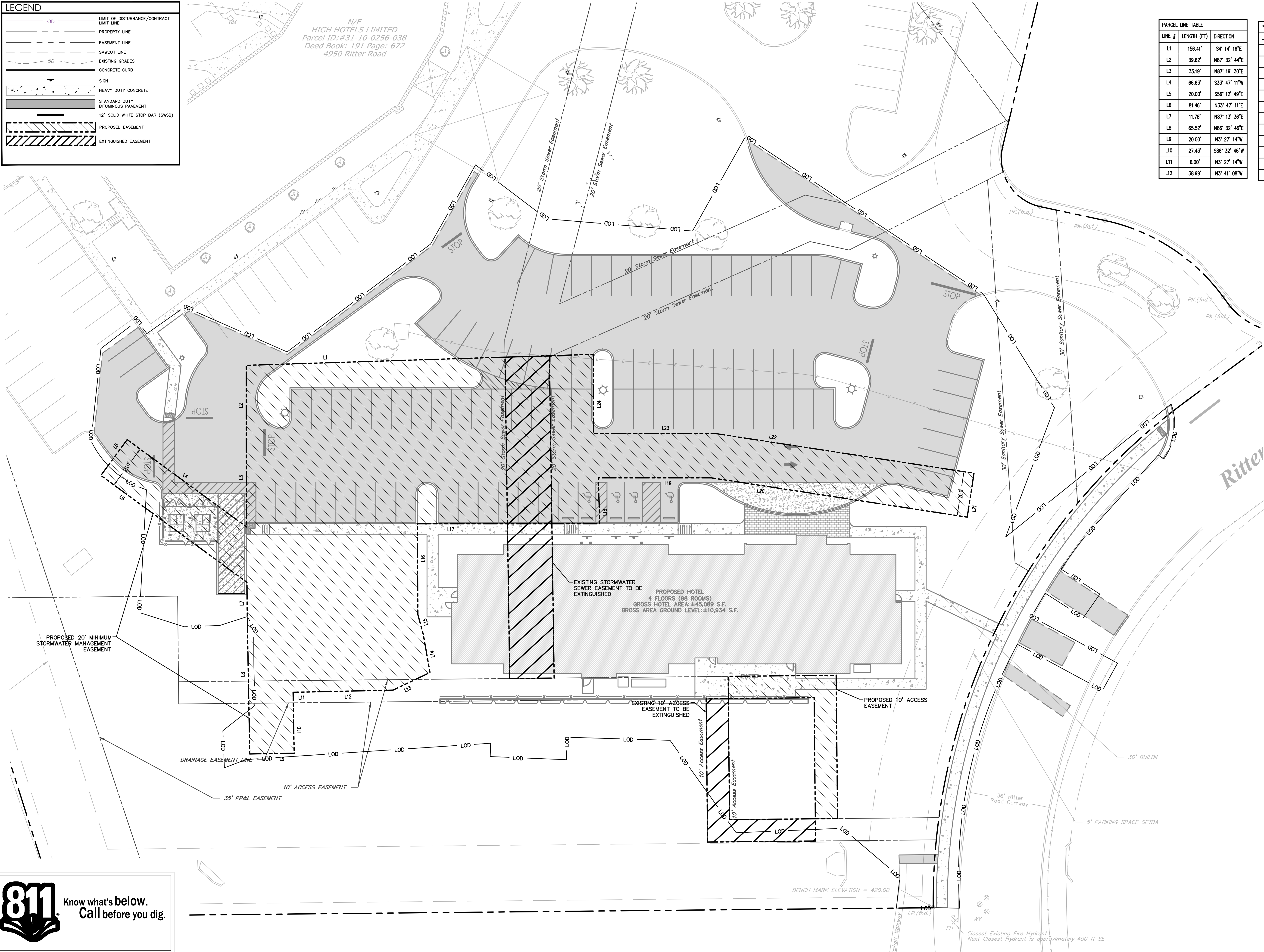
LEGEND

- LOD LIMIT OF DISTURBANCE/CONTRACT
- LIMIT LINE
- PROPERTY LINE
- EASEMENT LINE
- SAWCUT LINE
- EXISTING GRADES
- CONCRETE CURB
- SIGN
- HEAVY DUTY CONCRETE
- STANDARD DUTY BITUMINOUS PAVEMENT
- 12" SOLID WHITE STOP BAR (SWSB)
- PROPOSED EASEMENT
- EXTINGUISHED EASEMENT

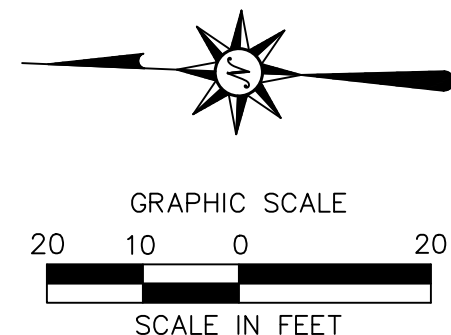
N/F
HIGH HOTELS LIMITED
Parcel ID: #31-10-0256-038
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4950 Ritter Road

PARCEL LINE TABLE		
LINE #	LENGTH (FT)	DIRECTION
L1	156.41'	S4° 14' 16"E
L2	39.62'	N87° 32' 44"E
L3	33.19'	N87° 19' 30"E
L4	66.63'	S33° 47' 11"W
L5	20.00'	S56° 12' 49"E
L6	81.46'	N33° 47' 11"E
L7	11.78'	N87° 13' 36"E
L8	65.52'	N86° 32' 46"E
L9	20.00'	N3° 27' 14"W
L10	27.43'	S86° 32' 46"W
L11	6.00'	N3° 27' 14"W
L12	38.99'	N3° 41' 08"W

PARCEL LINE TABLE		
LINE #	LENGTH (FT)	DIRECTION
L13	18.43'	N27° 52' 42"W
L14	17.46'	S77° 33' 53"W
L15	9.20'	S72° 17' 06"W
L16	40.92'	S87° 15' 10"W
L17	82.06'	N2° 25' 26"W
L18	20.68'	S85° 52' 31"W
L19	50.92'	N2° 25' 26"W
L20	116.45'	N6° 18' 45"E
L21	20.00'	N83° 41' 15"W
L22	117.98'	S6° 18' 45"W
L23	54.68'	S2° 20' 58"E
L24	35.55'	S87° 46' 03"W



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552



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(717) 651-9850



PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

REVISIONS		Disc.	Per Township Comments	Per Water Company Comments and LOD Shift
No.	Date			
1	07/17/2024			
2	08/29/2024			
3	01/07/2025			

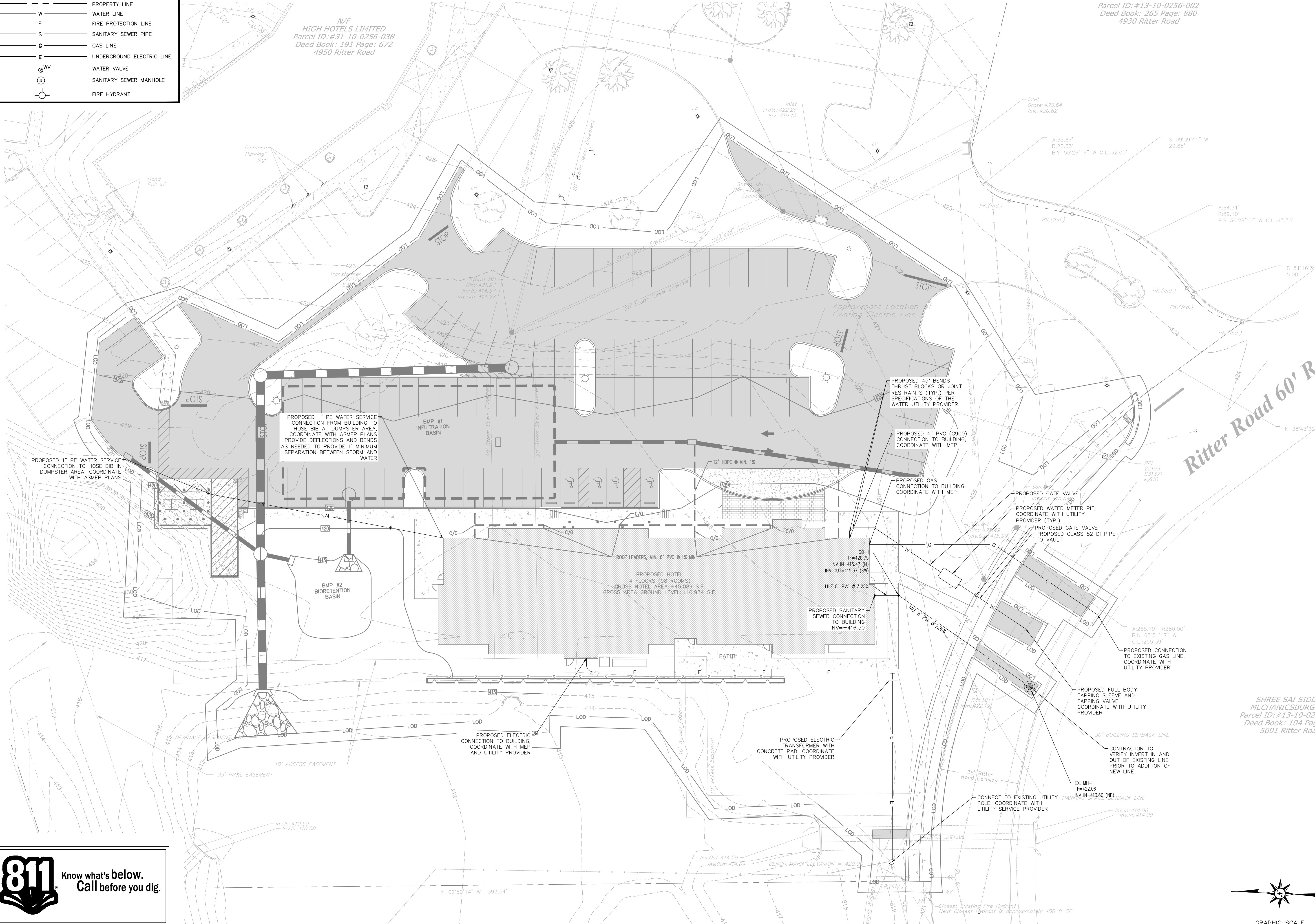
Designed	C.L.H.
Drawn	N.M.
Reviewed	G.J.H.
Scale	1" = 20'
Project No.	2400139
Date	06/14/2024
CAD File:	EA2400139-10
Title	EASEMENT PLAN
Sheet No.	

E1.00
No. 14 of 20

LEGEND	
---	PROPERTY LINE
W	WATER LINE
F	FIRE PROTECTION LINE
S	SANITARY SEWER PIPE
G	GAS LINE
E	UNDERGROUND ELECTRIC LINE
⊗	WV
⊙	WATER VALVE
⊙	SANITARY SEWER MANHOLE
⊙	FIRE HYDRANT

N/F
HIGH HOTELS LIMITED
Parcel ID: #31-10-0256-038
Deed Book: 191 Page: 672
4930 Ritter Road

Parcel ID: #13-10-0256-002
Deed Book: 265 Page: 880
4930 Ritter Road

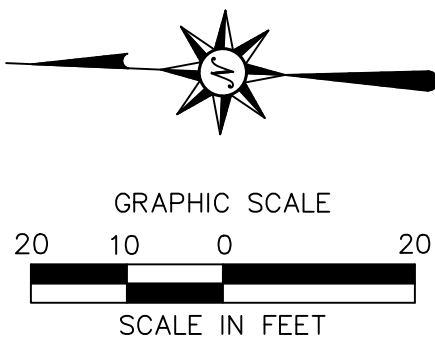


Ritter Road 60' R

SHREE SAI SIDDH
MECHANICSBURG, PA
Parcel ID: #13-10-025
Deed Book: 104 Page:
5001 Ritter Road



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REVISIONS		DATE	DESCRIPTION
No.	1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS	
3	01/07/2025	PER WATER COMPANY COMMENTS AND LOD SHEET	

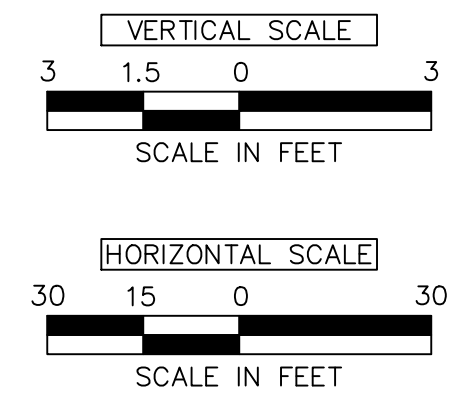
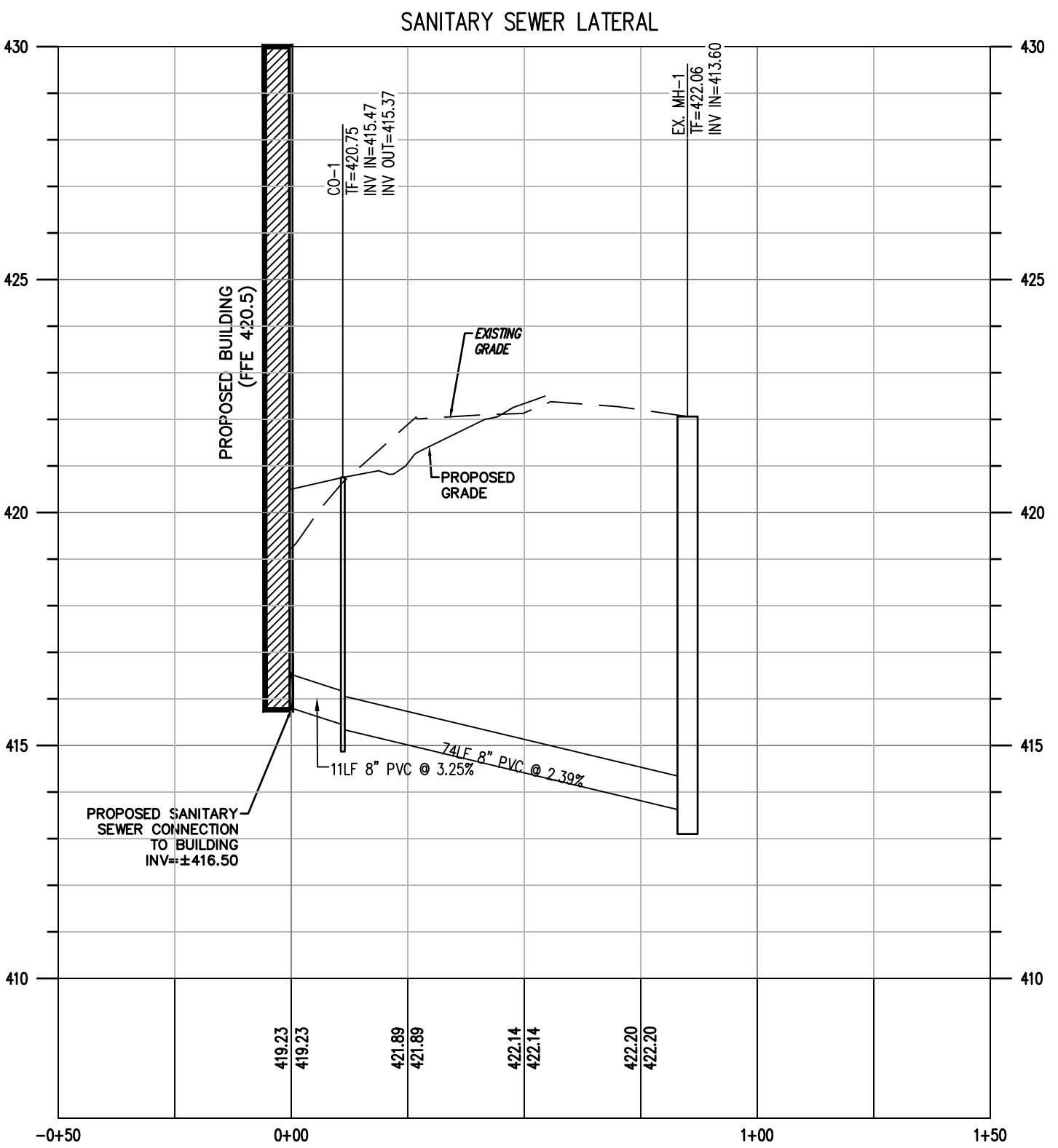
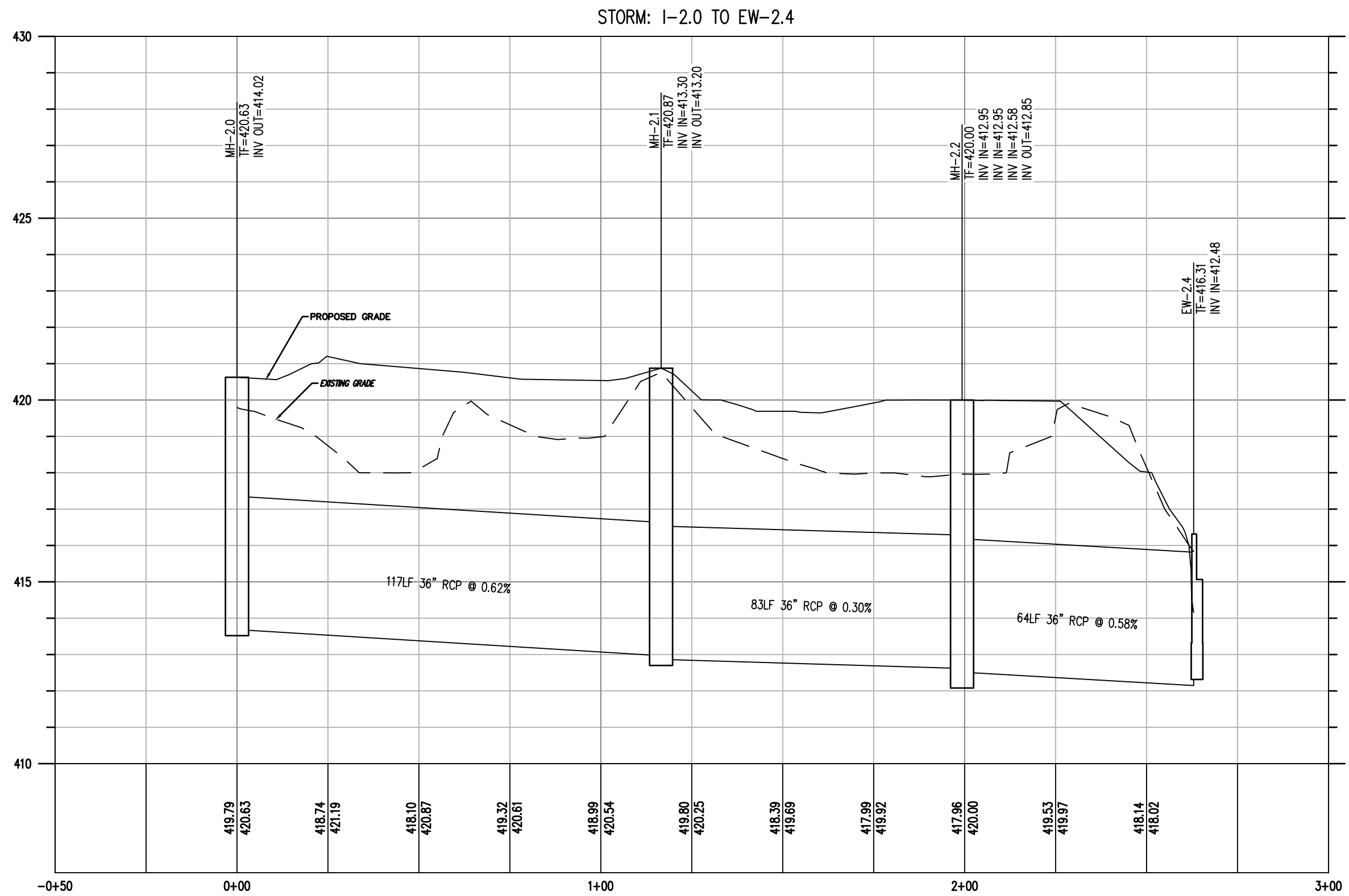
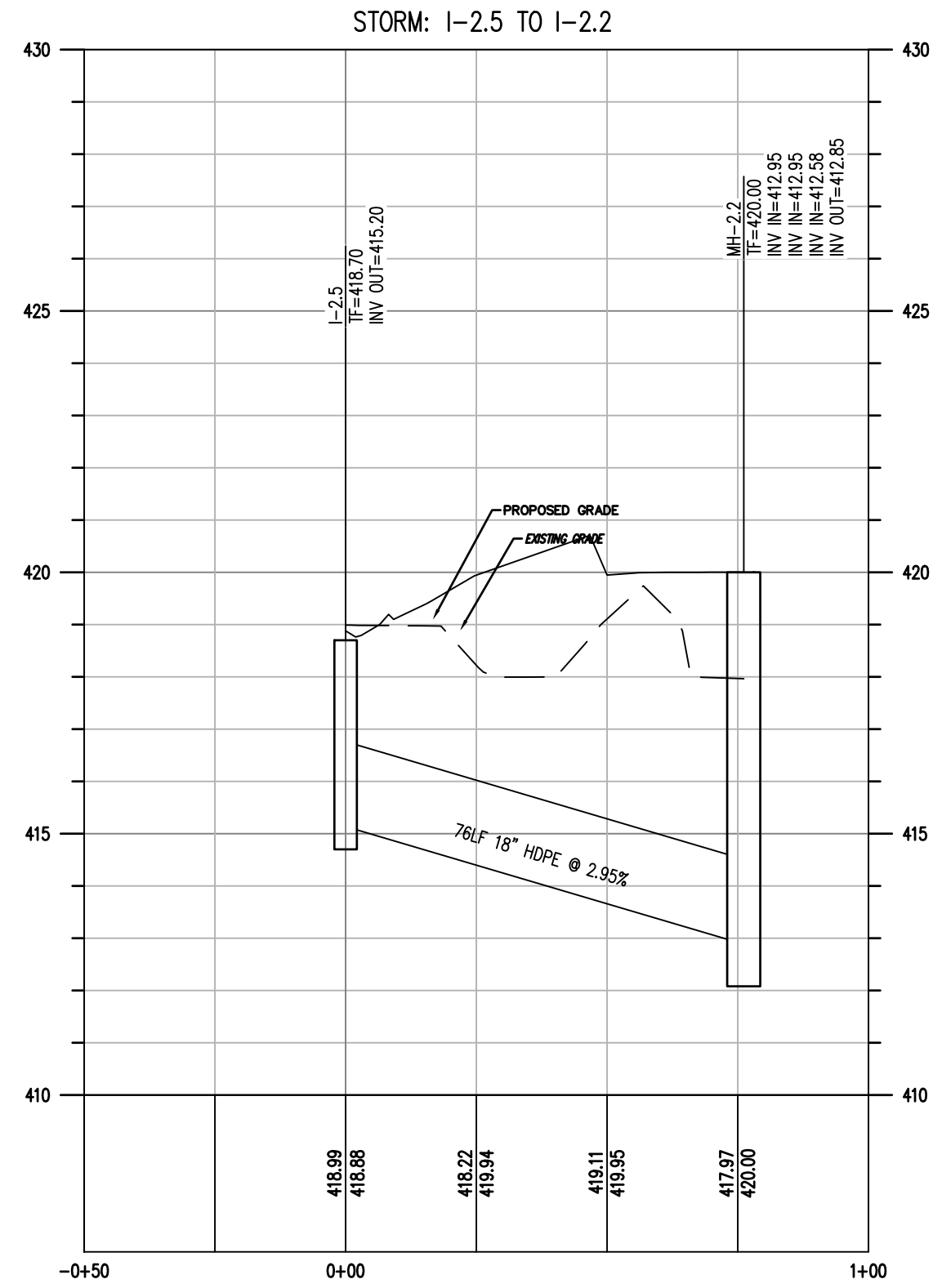
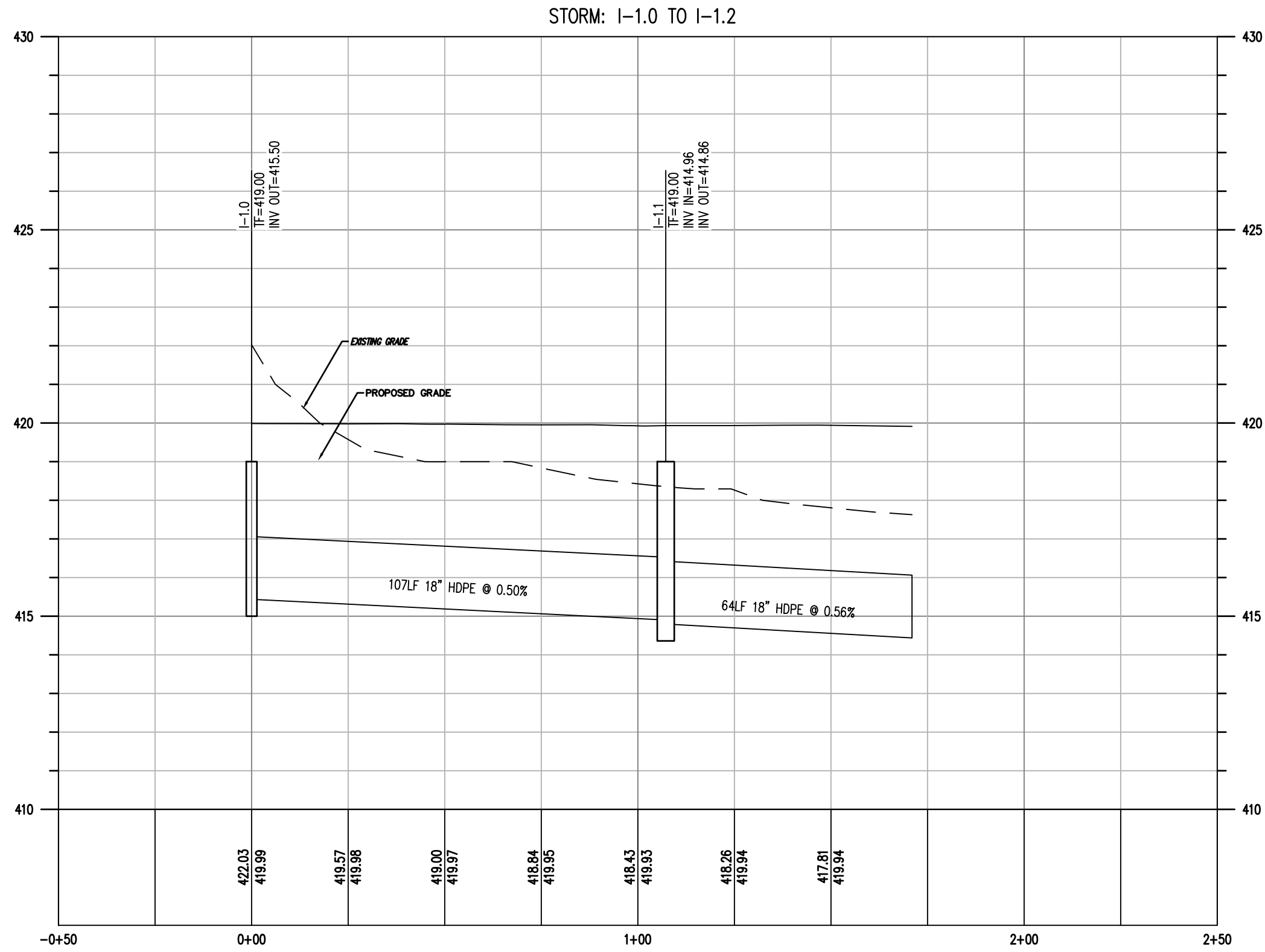
Designed	C.L.H.
Drawn	N.M.
Reviewed	G.J.H.
Scale	1" = 20'
Project No.	2400139
Date	06/14/2024
CAD File:	C2400139-30

Title
SITE UTILITY PLAN

Sheet No.

C3.00
No. 15 of 20

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



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HOTELS
LTD.

An Affiliate of High Hotel Group LLC

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

DESIGNED: C.L.H.
DRAWN: N.M.
REVIEWED: G.J.H.
SCALE: N.T.S.
PROJECT NO.: 2400139
DATE: 06/14/2024
CAD FILE: C2400139-32

REVISIONS

No.	Date	Description
1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS
3	01/07/2025	PER WATER COMPANY COMMENTS AND LOD SHIFT

Title

PROFILES

Sheet No.

C3.20
No. 17 of 20

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	AS	6	ACER SACCHARUM	SUGAR MAPLE	6'-7" HT.	B&B
	AC	7	ACER CAMPESTRE 'VELYN	HEDGE MAPLE	6'-7" HT.	B&B
	GT	5	GLEDTISIA TRIACANTHOS SHADEMASTER	SHADEMASTER HONEYLOCUST	8'-10' HT.	B&B
FLOWERING TREES						
	CH	2	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	2"-2.5" CAL.	B&B
	CC	3	CERCIS CANADENSIS	EASTERN REDBUD	2"-2.5" CAL.	B&B
EVERGREEN TREES						
	AC	4	ABIES CONCOLOR	WHITE FIR	6'-7" HT.	B&B

GROUND COVER						
	RG	31	RHUS AROMATICA 'GRO-LOW	GRO-LOW FRAGRANT SUMAC	3 GAL.	CONT.
SHRUB AREAS						
	PL	8	PRUNUS LAUROCERASUS	CHERRY LAUREL	3 GAL.	CONT.
	IW	26	ILEX VERTICILLATA	WINTERBERRY	3 GAL.	CONT.
	HQ	15	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	5 GAL.	CONT.
	RV	13	RHODODENDRON VISCOSUM	SWAMP AZALEA	3 GAL.	CONT.
	IG	19	ILEX GLABRA	INKBERRY HOLLY	3 GAL.	CONT.
	CO	6	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	3 GAL.	B&B

- NOTES:
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
 - 4) ALL DISTURBED AREA TO BE SEEDED BY CONSERVATION SEED MIX, UNLESS OTHERWISE SPECIFIED.

SEED MIX NOTES

- A. WET SEED MIX:
MANUFACTURER: ERNST CONSERVATION SEEDS OR APPROVED EQUAL
LOCATION: 8884 MERCER PIKE MEADVILLE, PA 16335
FORMULA: FACW MEADOW MIX-ERNMX 122, FACW OR APPROVED EQUAL
±24% FOWL BLUEGRASS
±20% VIRGINIA WILDRYE
±11% LURID SEDGE
- REMAINING AMOUNT, (±45%) TO BE A MIXTURE OF AT LEAST 15 DIFFERENT TYPES OF PLANTS WITH THE MAXIMUM AMOUNT OF ANY ONE MIXTURE TO BE 7.00% OR LESS
- CONTRACTOR TO PROVIDE WETLAND MIXTURE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- B. LAWN SEEDING MIX:
15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

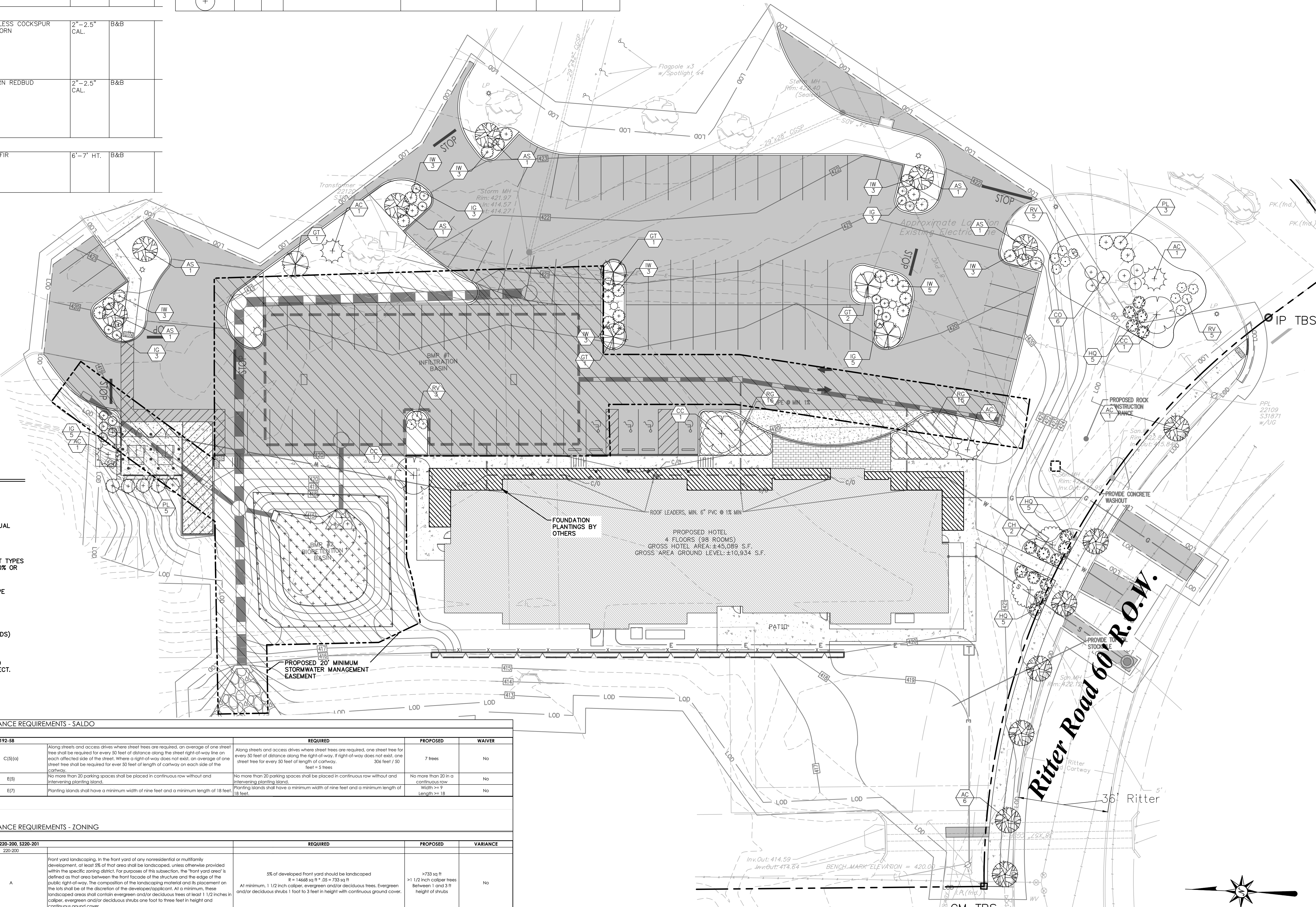
LEGEND

- LOD — LIMIT OF DISTURBANCE LINE
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB AND SCREENING
- WET SEED MIX
- LAWN SEED MIX

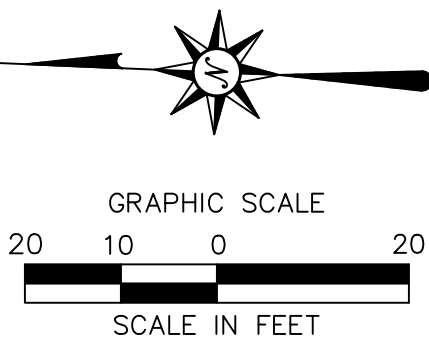


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ORDINANCE REQUIREMENTS - SALDO				
SECTION: S192-58		REQUIRED	PROPOSED	WAIVER
C(5)(a)	Along streets and access drives where street trees are required, on average of one street tree shall be required for every 50 feet of distance along the street right-of-way line on each affected side of the street. Where a right-of-way does not exist, on average of one street tree shall be required for every 50 feet of length of cartway on each side of the cartway.	Along streets and access drives where street trees are required, one street tree for every 50 feet of distance along the right-of-way. If right-of-way does not exist, one street tree for every 50 feet of length of cartway.	7 trees	No
E(5)	No more than 20 parking spaces shall be placed in continuous row without and intervening planting island.	No more than 20 parking spaces shall be placed in continuous row without and intervening planting island.	No more than 20 in a continuous row	No
E(7)	Planting islands shall have a minimum width of nine feet and a minimum length of 18 feet.	Planting islands shall have a minimum width of nine feet and a minimum length of 18 feet.	Width = 9 feet Length = 18 feet	No
ORDINANCE REQUIREMENTS - ZONING				
SECTION: S220-200, S220-201		REQUIRED	PROPOSED	VARIANCE
220-200	Front yard landscaping. In the front yard of any nonresidential or multifamily development, at least 5% of that area shall be landscaped, unless otherwise provided within the specific zoning district. For purposes of this subsection, the "front yard area" is defined as that area between the front facade of the structure and the edge of the public right-of-way. The composition of the landscaping material and its placement on the lots shall be at the discretion of the developer/landscape architect. At a minimum, these landscaped areas shall contain evergreen and/or deciduous trees of least 1 1/2 inches in caliper, evergreen and/or deciduous shrubs one foot to three feet in height and continuous ground cover.	5% of developed front yard should be landscaped R = 14668 sq ft * .05 = 733 sq ft At minimum, 1 1/2 inch caliper, evergreen and/or deciduous trees, Evergreen and/or deciduous shrubs 1 foot to 3 feet in height with continuous ground cover.	>733 sq ft >1 1/2 inch caliper trees Between 1 and 3 ft height of shrubs	No
B(1)	Amount required. At least 5% of the interior parking area shall be landscaped with plantings, including one tree per every 10 parking spaces.	5% of interior parking area shall be landscaped with plantings, including one tree per every 10 parking spaces 42668 sq ft * .05 = 2133 sq ft 9" Spacer, 10 spaces = 10 trees	>2133 sq ft >10 trees	No
220-201	Maximum height of solid screening (fences, walls and earthen berms). (a) Front yard: six feet. (b) Rear and side yards: eight feet.	Screening maximum height: (a)Front Yard: 6 ft (b) Rear and side yards: 8 ft	Front Yard < 6 ft Rear & Side Yards < 8 ft	No
B(4)	For every 50 feet of property line where screening is required, an evergreen or deciduous tree of at least two inches in caliper shall be planted and incorporated into the screening material. This shall not apply when fencing or a wall is used to fulfill the screening requirement.	For every 50 feet of property line where screening is required, an evergreen or deciduous tree of at least two inches in caliper shall be planted	<= 2' Cal	No



SEE SHEET LL-02 FOR
LANDSCAPE NOTES AND DETAILS



LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE OTHER PLANS FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER, AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACQUACED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE RED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. TOP SOIL PRESERVATION. ALL OF THE TOP SOIL FROM AREAS WHERE CUTS AND FILLS HAVE BEEN MADE SHOULD BE STOCKPILED AND REDISTRIBUTED UNIFORMLY AFTER GRADING.
13. ALL AREAS OF THE SITE SHALL BE STABILIZED BY SEEDING OR PLANTING ON SLOPES OF LESS THAN TEN (10) PERCENT, AND SHALL BE STABILIZED BY SODDING ON SLOPES 10% OR MORE, AND PLANTED IN GROUND COVER ON SLOPES 20% OR GREATER.
14. PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDD AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS OR AMENDED ON-SITE SOILS MEETING THE FOLLOWING CRITERIA:

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL, EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- | | |
|-----------------|---|
| ORGANIC CONTENT | 3% - 6% FOR LAWN OR GRASS AREAS.
4% - 8% FOR TREE AND SHRUB PLANTERS.
8%-16% FOR RETENTION OR DETENTION BASINS.
(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING) |
| PH | 6.0 - 7.3 |
- C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDES, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF TEXAS, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS' TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
- LOAM
 - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%
 - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%
- G. BIOTENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
- SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
 - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- H. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. THE OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

PLANTING SEED MIXES	SPRING APRIL 1 TO MAY 15	FALL SEPTEMBER 1 TO NOVEMBER 15
	PER MANUFACTURERS' RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES	

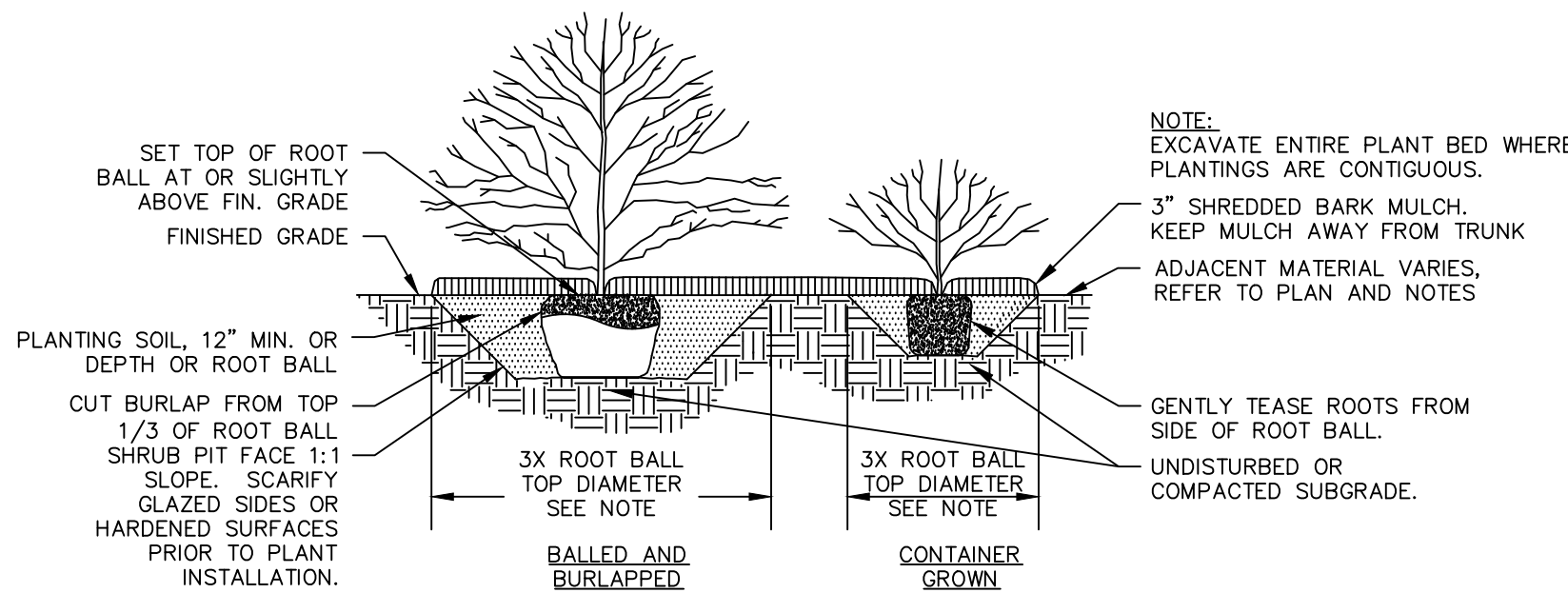
16. SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDD AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDD WITH THE LAWN SEED MIX.

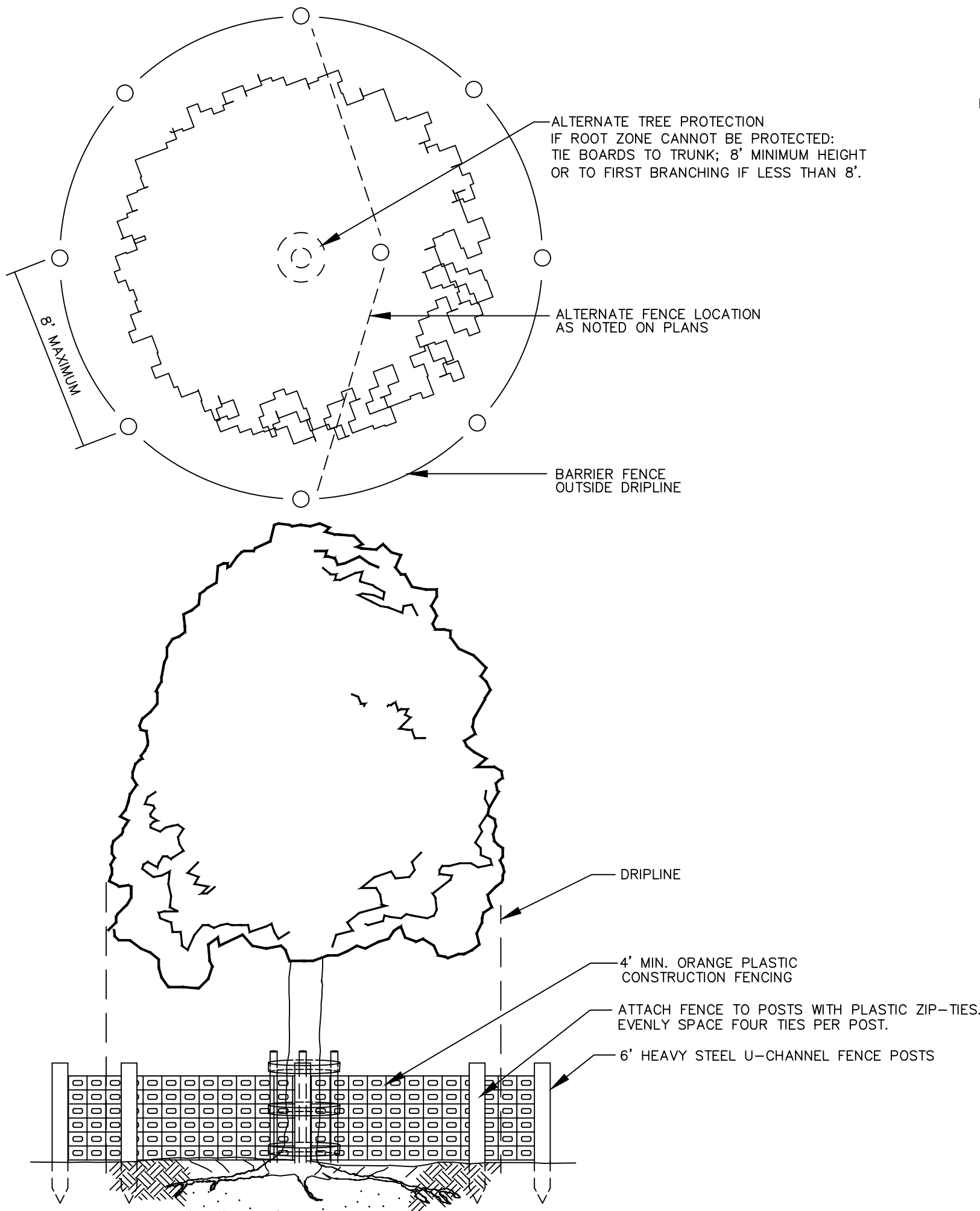
20. ALL SHADE TREE, BUFFER YARD AND OTHER LANDSCAPING REQUIRED BY LOCAL ORDINANCE OR ZONING SHALL BE PERPETUALLY MAINTAINED BY THE PROPERTY OWNER. ANY LANDSCAPING NEEDED TO MEET AN ORDINANCE OR ZONING REQUIREMENT THAT DIES, IS REMOVED, OR IS SEVERELY DAMAGED SHALL BE REPLACED BY THE CURRENT PROPERTY OWNER AS SOON AS IS PRACTICAL CONSIDERING GROWING SEASONS, WITH A MAXIMUM OF 150 DAYS.



SECTION VIEW

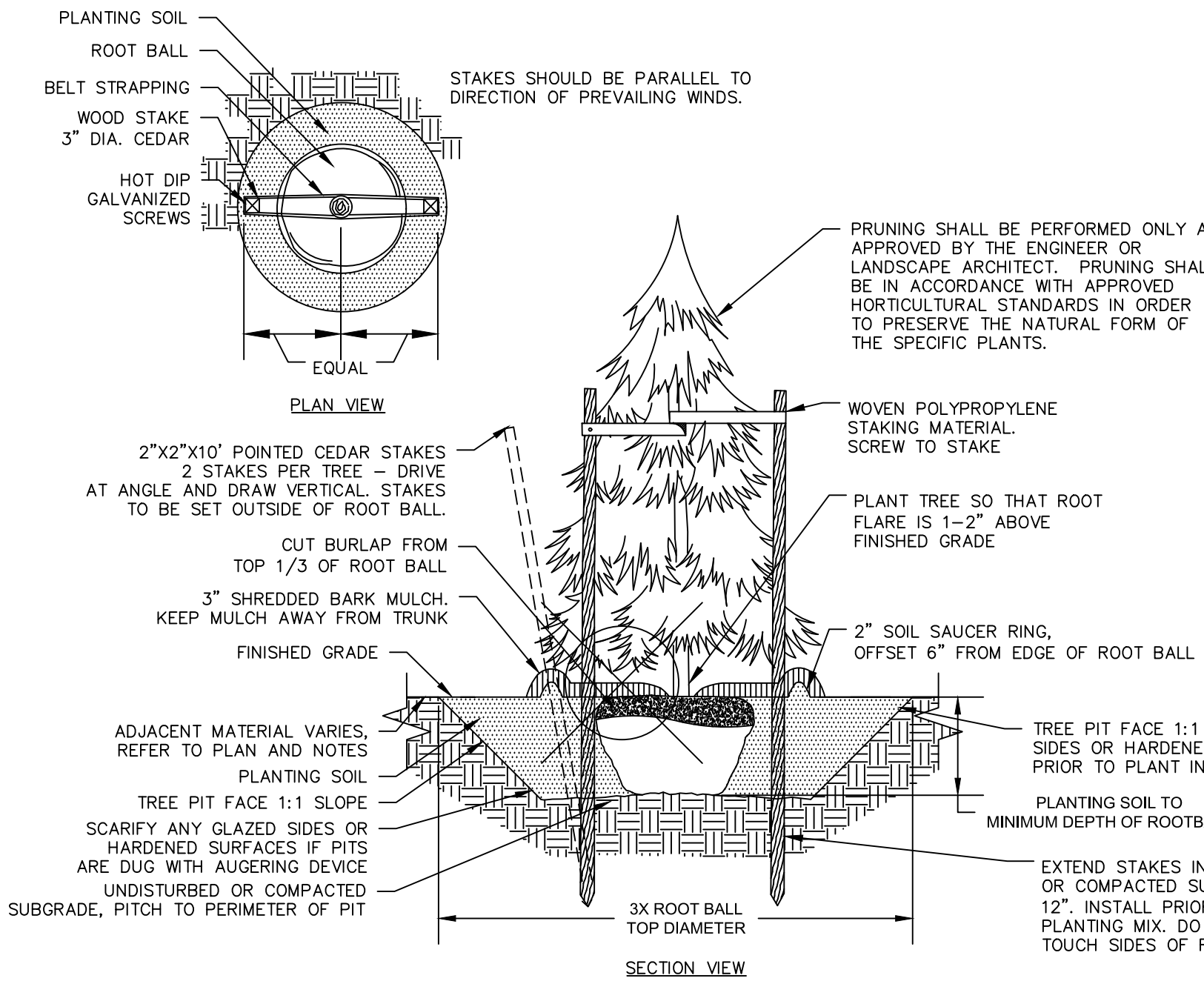
SHRUB PLANTING

N.T.S.



TREE PROTECTION

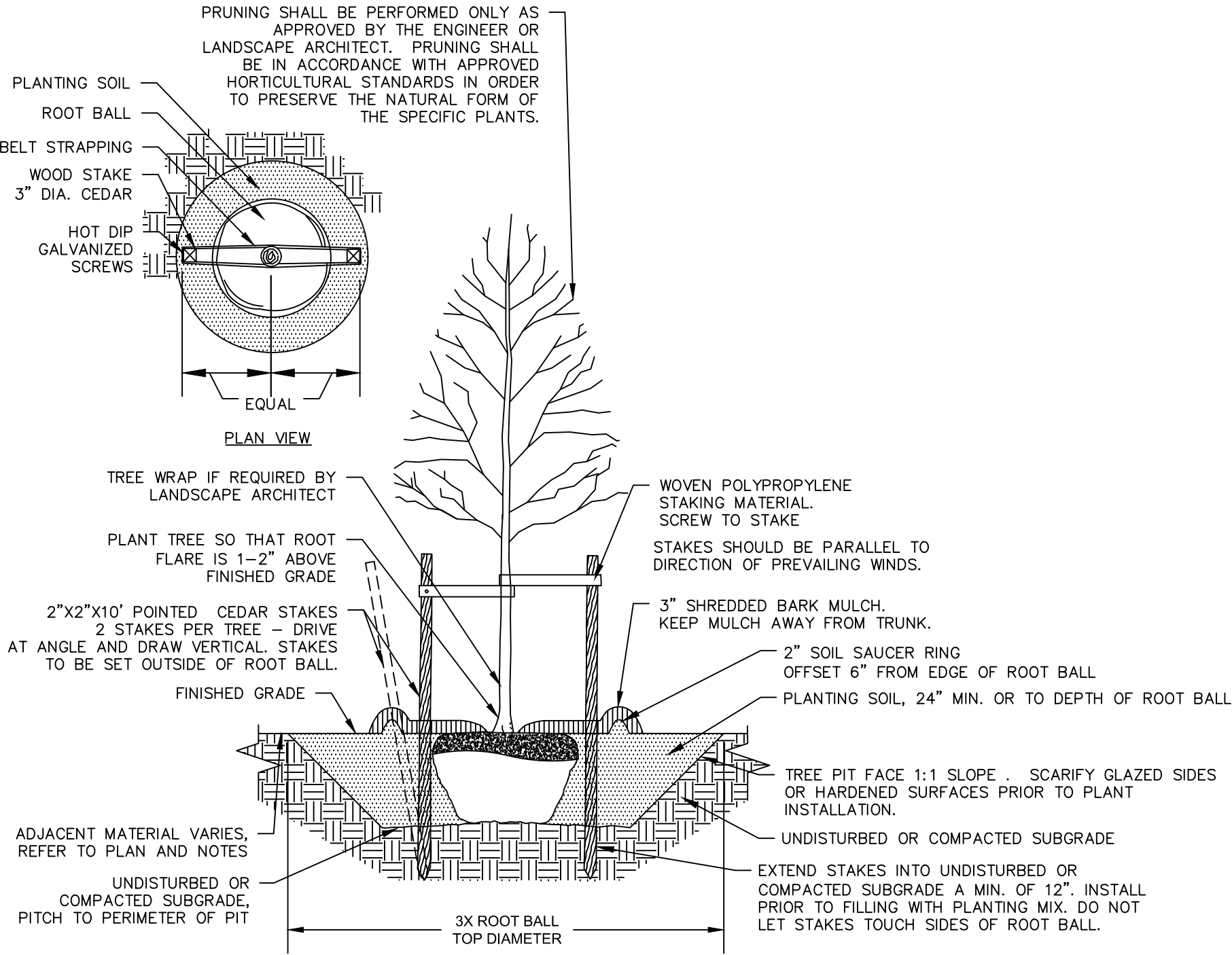
N.T.S. BLD-001



- NOTES:
- STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
 - WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 - BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

EVERGREEN TREE PLANTING

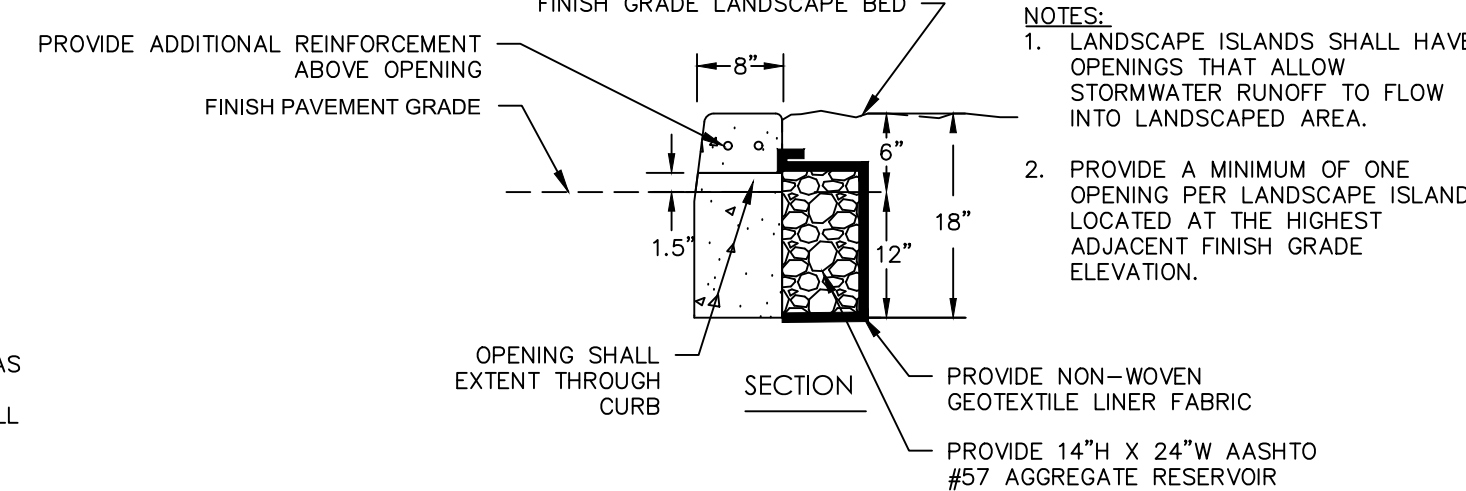
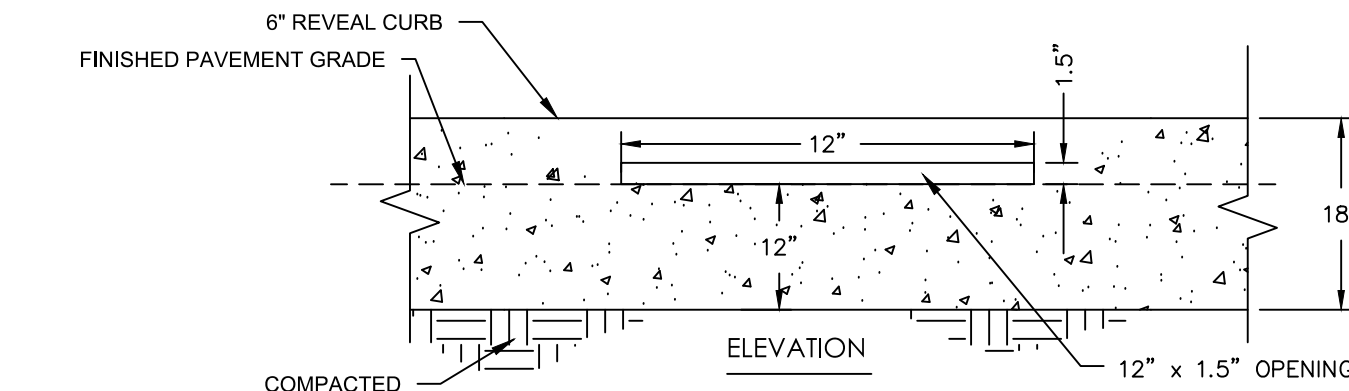
N.T.S.



- NOTES:
- STAKING FOR TREES ON SLOPES SHALLOWER THAN 4:1 OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
 - WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
 - BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

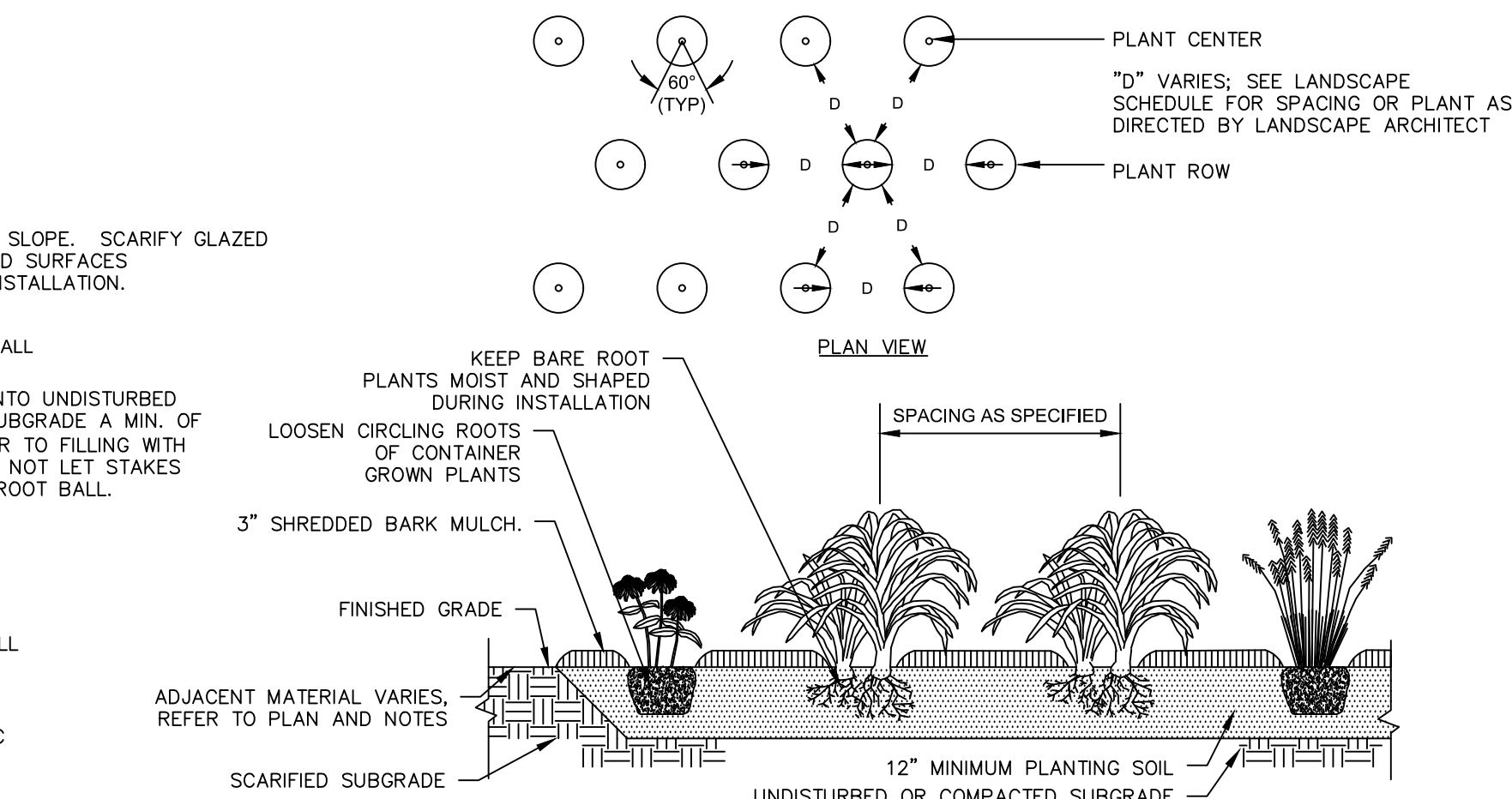
TREE PLANTING

N.T.S.



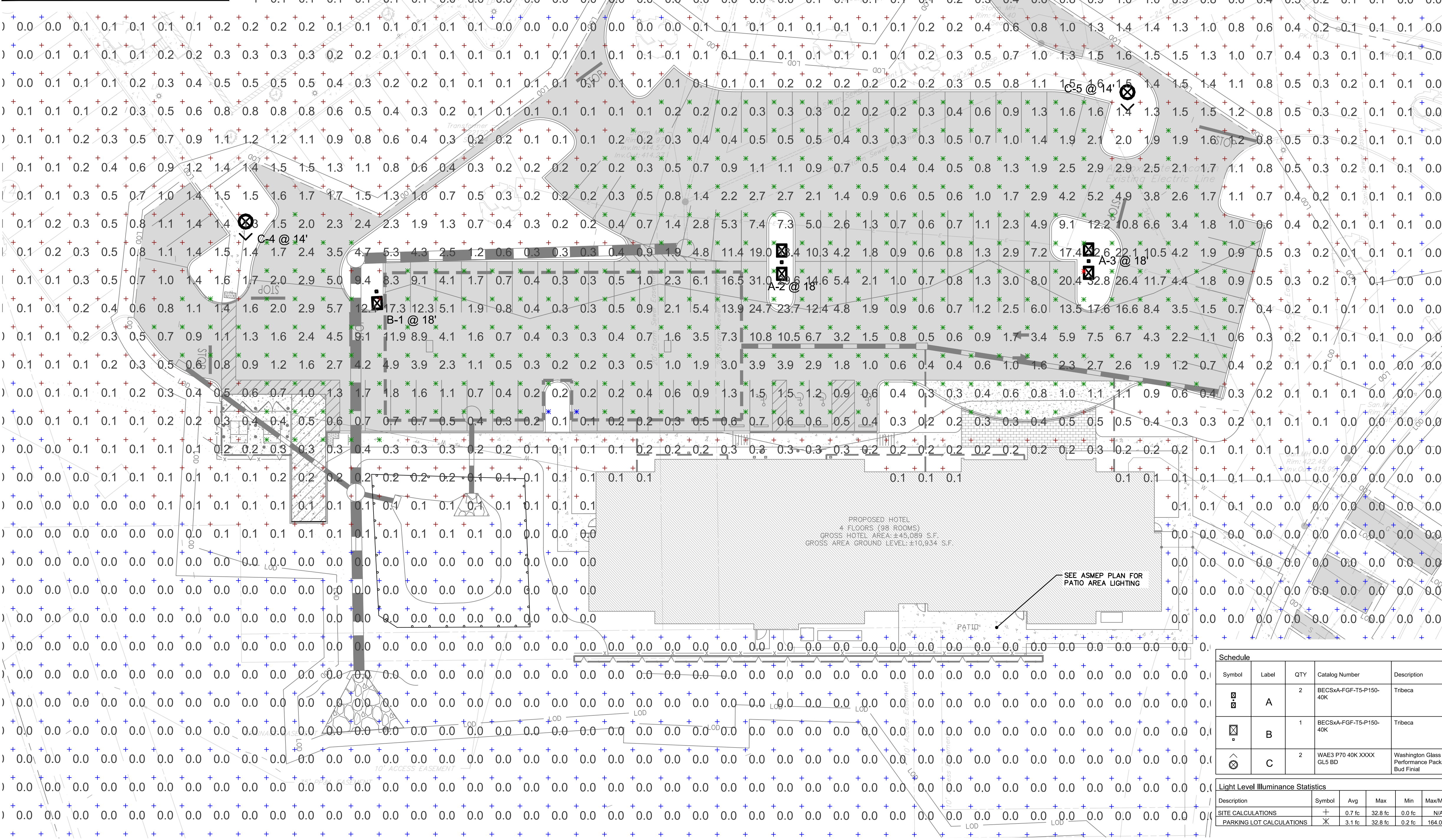
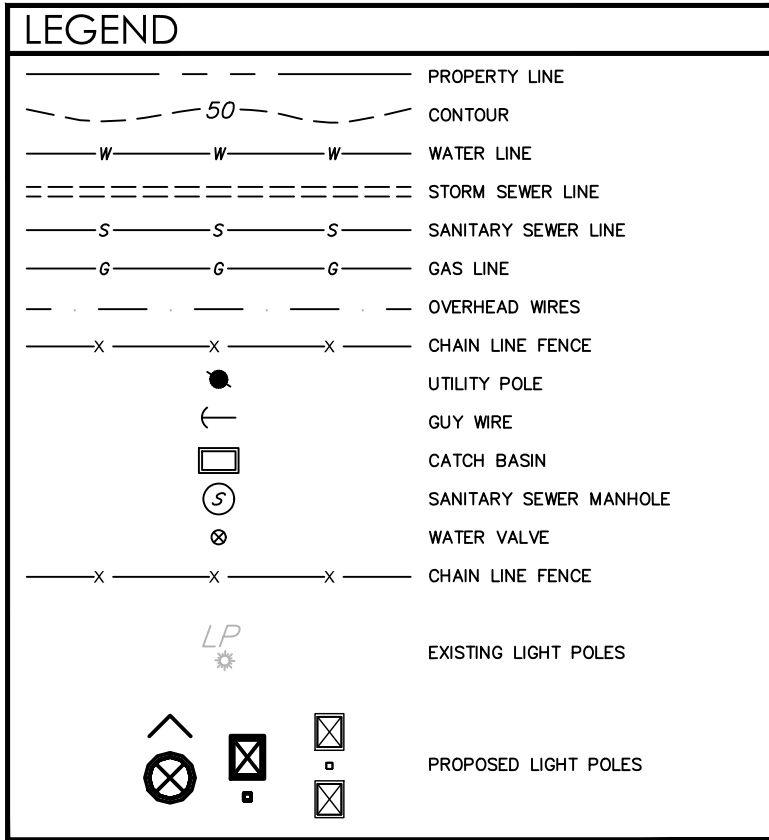
LANDSCAPE ISLAND DRAINAGE SUPPLY DETAIL

N.T.S.



GROUNDCOVER/ PERENNIAL PLANTING

N.T.S.



Note

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Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is generally not representative of near-field geometric conditions. When using the far-field photometric/radiometric data, the Visual software applies certain generalizing assumptions to approximate near-field performance. These assumptions may result in significant inaccuracies in individual calculated luminous and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point.

The modeling of radiant flux exchange used in the Visual software requires a uniform exitance across each reflecting surface. The Visual software approximates the uniform surface exitance condition by adaptively subdividing surfaces with non-uniform exitance into subsurfaces with sufficiently uniform exitance gradient. Practical restrictions, due to computer hardware limitations, may prevent the subdivision procedure from subdividing surfaces with high exitance gradients into subsurfaces with sufficiently uniform exitance gradients, introducing potential discretization error into the calculated values.

Calculations performed by Visual software assume that all reflected flux is reflected in a perfectly diffuse (Lambertian) and spectrally uniform manner across the spectral range being analyzed. If actual reflectance characteristics differ from these assumptions, observed luminous and/or radiant power quantities may differ from the predicted quantities.

As a result of the computational limitations and simplifying modeling assumptions described above and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiometric data calculation may be adversely affected. In addition, the accuracy of the application design may be adversely affected if information about the physical space provided to Acuity Brands Lighting is incomplete, inaccurate, outdated or not in the required format (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications) if incorrect assumptions are made because of because such are not appropriate for the space. Furthermore, actual actual field performance may differ from performance calculated using laboratory measurement as a result of miscalculations related to deficiencies in the information provided about the physical space, degradation factors in the end-user environment (including, but not limited to, voltage variation and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and/or depreciation in lamp radiant intensity may result in performance over time that differs performance calculated using a new lamp. Light loss factors may have been used in the application design to estimate such depreciation, but flaws in these estimates may also result in performance over time that differs from the calculated performance.

It is the obligation of the end-user to consult with appropriately qualified Professional Engineer (s) to determine whether this application design meets the applicable requirements for performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this design.



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552

HOLOPHANE
LEADER IN LIGHTING SOLUTIONS

Washington Profile LED Series

WAE3

SPECIFICATIONS

General Description

The WAE3 is a 100W LED luminaire designed for use in a variety of applications. It features a die-cast aluminum housing, a polycarbonate lens, and a stainless steel mounting bracket. The luminaire is available in three finishes: black, white, and bronze. It is designed to be mounted on a wall or ceiling and is suitable for use in both indoor and outdoor environments.

Optical Specifications

The WAE3 is a full-cutoff luminaire that provides a beam spread of 120 degrees. It has a light output of 10,000 lumens and a color temperature of 4000K. The luminaire is designed to be used in a variety of applications, including street lighting, parking lot lighting, and general area lighting.

Control Options

The WAE3 is available with a variety of control options, including a photocell, a motion sensor, and a manual switch. It is also available with a dimming option.

Electrical Specifications

The WAE3 is a 100W LED luminaire that operates on 120V AC. It has a power factor of 0.9 and a total harmonic distortion (THD) of less than 10%. It is designed to be used in a variety of applications, including street lighting, parking lot lighting, and general area lighting.

Warranty

The WAE3 is covered by a 5-year warranty. The warranty covers the luminaire and its components, including the LED chips, the driver, and the mounting bracket.

cyclone

Tribeca BECS1A/BECS2A
Approval - Specification

Project: _____
City: _____

Luminaire: _____
Order Type: _____

Head Module: Rectangular shaped, made from injection molded ABS aluminum, mechanically attached to the head module.

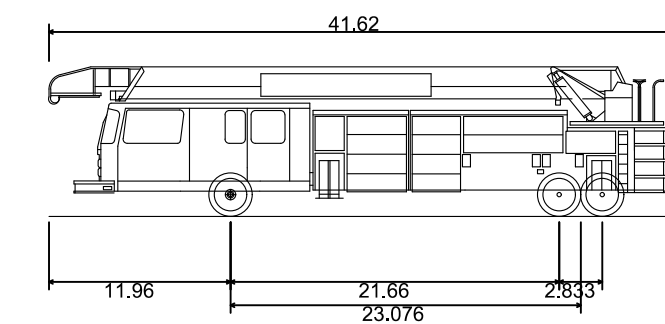
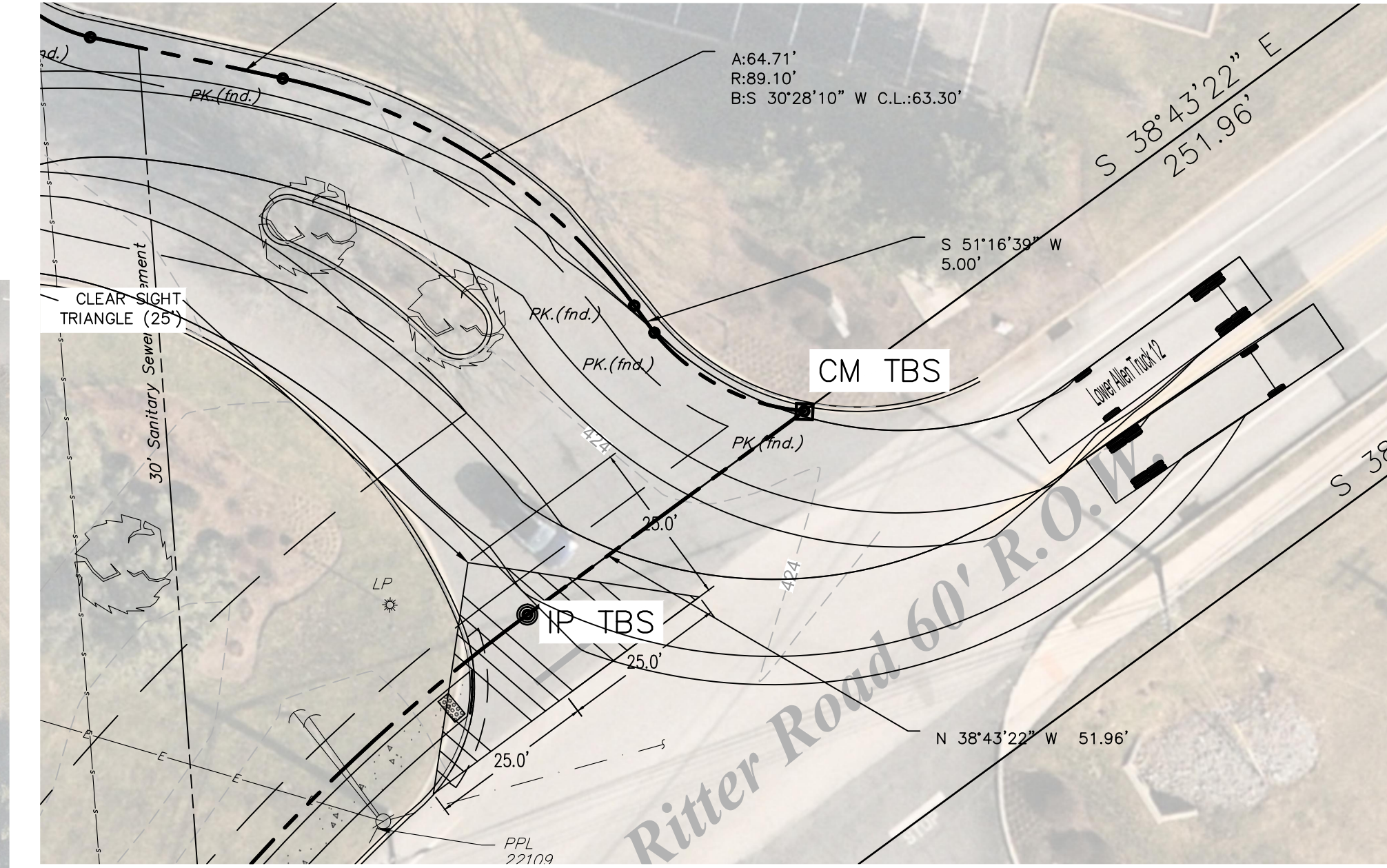
Head Module: Rectangular shaped, made from injection molded ABS aluminum, equipped with adjustment steps to facilitate the luminaire leveling by 1/4". The module is designed to be installed on a horizontal beam of 1/4" (20mm) (0.1" (2.5mm) for the BECS1A and a beam of 1/2" (12.7mm) for the BECS2A) by (15.2mm) long, with two (2) stainless steel brackets, mechanically attached to four (4) 3/8" UNC stainless steel bolts. Also equipped with a European style connection terminal block for 0 to 18 AWG wires, mechanically installed inside.

Door Module: Rectangular shaped, made from injection molded ABS aluminum with an integrated hinge. A long rectangular push button allows the opening and access to the components inside the luminaire. The certification, maintenance and luminaire code labels are located on the back of the door.

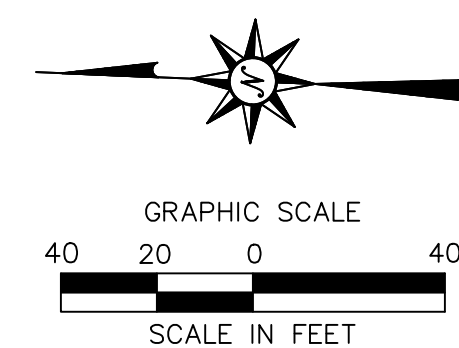
Optical Module: The Orion LED optical engine with 54 LEDs or 108 LEDs board, provides performance packages ranging from P10 to P150 with a CCT of 30K or 40K and a mechanically assembled to the optical module. The heat sink / optical module made from injection molded ABS aluminum is included in the head and is optimized to maximize the LED operating temperature, increasing their longevity and efficiency. A choice of a tempered clear flat glass lens (FGC) or tempered frosted flat glass lens (FFG) are available and attached underneath the optical module to an injection molded ABS aluminum frame. A no lens option is also available. The lifetime of the LEDs is 100,000 hours. It is based on the LM-80 test and extrapolated with TM-21. This data is calculated when 50% of the LEDs produce 70% of their initial luminous flux (L70). The minimum color rendering index (CRI) is 90. The Orion's optical acrylic lens are designed to illuminate only where needed while achieving excellent uniformity with maximum spacing. The optical acrylic lenses are sealed on the LED board. Protection is applied. The light distribution types available are: T1, T4, T8, T12, T16, T24, T36, T48, T60, T84, T108, T144, T180, T216, T288, T360, T432, T504, T576, T648, T720, T792, T864, T936, T1008, T1080, T1152, T1224, T1296, T1368, T1440, T1512, T1584, T1656, T1728, T1800, T1872, T1944, T2016, T2088, T2160, T2232, T2304, T2376, T2448, T2520, T2592, T2664, T2736, T2808, T2880, T2952, T3024, T3096, T3168, T3240, T3312, T3384, T3456, T3528, T3600, T3672, T3744, T3816, T3888, T3960, T4032, T4104, T4176, T4248, T4320, T4392, T4464, T4536, T4608, T4680, T4752, T4824, T4896, T4968, T5040, T5112, T5184, T5256, T5328, T5400, T5472, T5544, T5616, T5688, T5760, T5832, T5904, T5976, T6048, T6120, T6192, T6264, T6336, T6408, T6480, T6552, T6624, T6696, T6768, T6840, T6912, T6984, T7056, T7128, T7200, T7272, T7344, T7416, T7488, T7560, T7632, T7704, T7776, T7848, T7920, T7992, T8064, T8136, T8208, T8280, T8352, T8424, T8496, T8568, T8640, T8712, T8784, T8856, T8928, T9000, T9072, T9144, T9216, T9288, T9360, T9432, 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811 Know what's below.
Call before you dig.



Lower Allen Truck 12 (Pierce)	
Overall Length	41.620ft
Overall Width	8.167ft
Overall Body Height	9.851ft
Min Body Ground Clearance	1.196ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	40.00°



HIGH
HOTELS
LTD.

Affiliate of High Real Estate Group LLC

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON – ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

No.	Date	Desc.
1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS
3	01/09/2025	PER TOWNSHIP COMMENTS AND FOR SUELT

Designed	C.L.H.
Drawn	N.M.
Reviewed	G.J.H.
Scale	1" = 4'
Project No.	240013
Date	06/14/2021

FIRE TRUCK TURNING PLAN

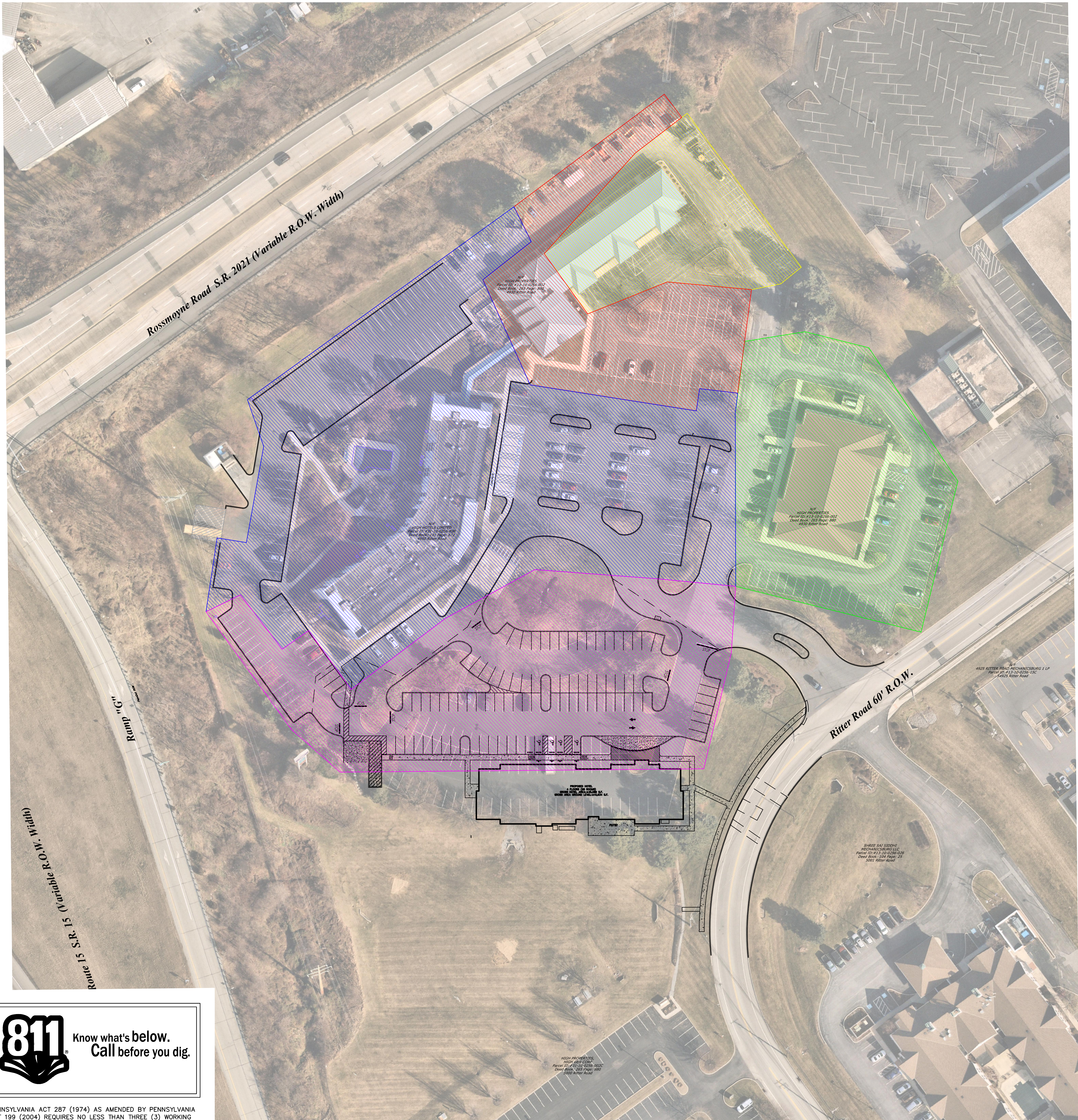
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EX.01

No. 1 of 1

Xref (s) : XC2400|39-10 : XZ2400|39-02 : X92400|39-00 : 2400|39 CP-1

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

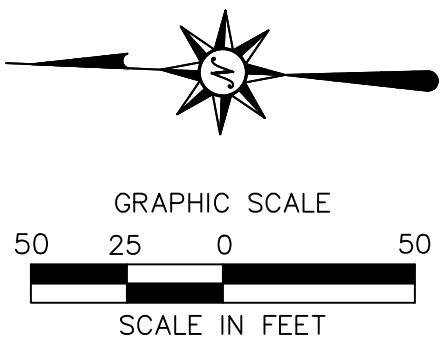


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Know what's below.
Call before you dig.

PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	11,700 S.F.	NO
2	PARKING REQUIRED	HOTELS (TRU HOTEL): 1 PER SLEEPING ROOM PLUS 1 PER 200 52 FT. QPA OF PUBLIC MEETING AREA PLUS 1 PER EVERY 2 EMPLOYEES ON THE LARGEST WORKING SHIFT $96 + 0 + \frac{0}{2} = 108$ SPACES	108 SPACES	NO
3	PARKING REQUIRED	HOTELS (HAMPTON INN): 1 PER SLEEPING ROOM PLUS 1 PER 200 52 FT. QPA OF PUBLIC MEETING AREA PLUS 1 PER EVERY 2 EMPLOYEES ON THE LARGEST WORKING SHIFT $127 + \frac{0}{2} + \frac{0}{2} = 156$ SPACES	156 SPACES	NO
4	PARKING REQUIRED	EATING ESTABLISHMENT (ISAAC'S): 1 PER 2 SEATS $\frac{0}{2} = 68$ SPACES	68 SPACES	NO
5	PARKING REQUIRED	OFFICE 10 LESS THAN 50000 SQ.FT.: 1 PER 200 SQ.FT. $6090/200 = 31$ SPACES	34 SPACES	NO
6	PARKING REQUIRED	OFFICE 20 LESS THAN 50000 SQ.FT.: 1 PER 200 SQ.FT. $10091/200 = 51$ SPACES	58 SPACES	NO
7	TOTAL REQUIRED SPACES	414 SPACES	422 SPACES	NO
8	MINIMUM ADA PARKING SPACES REQUIRED	9 SPACES	17 SPACES	NO



Architecture
Engineering
Environmental
Land Surveying

BL

Companies

2601 Market Place, Suite 350
Harrisburg, PA 17110
(717) 651-9850

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An Affiliate of High Hotel Group, LLC

PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN
FOR
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

REVISES
No. 1 2 3
Date 07/17/2024
08/29/2024
01/07/2025
Disc. PER TOWNSHIP COMMENTS
PER TOWNSHIP COMMENTS
PER WATER COMPANY COMMENTS AND LOD SHEET

Designed C.L.H.
Drawn N.M.
Reviewed G.J.H.
Scale 1" = 50'
Project No. 2400139
Date 06/14/2024
CAD File: EXB2400139-10OVERALL PARKING

Title
OVERALL
PARKING PLAN

Sheet No.
EX.02
No. 1 of 1

XC2400139-10 : EXB2400139-10 : XC2400139-10

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