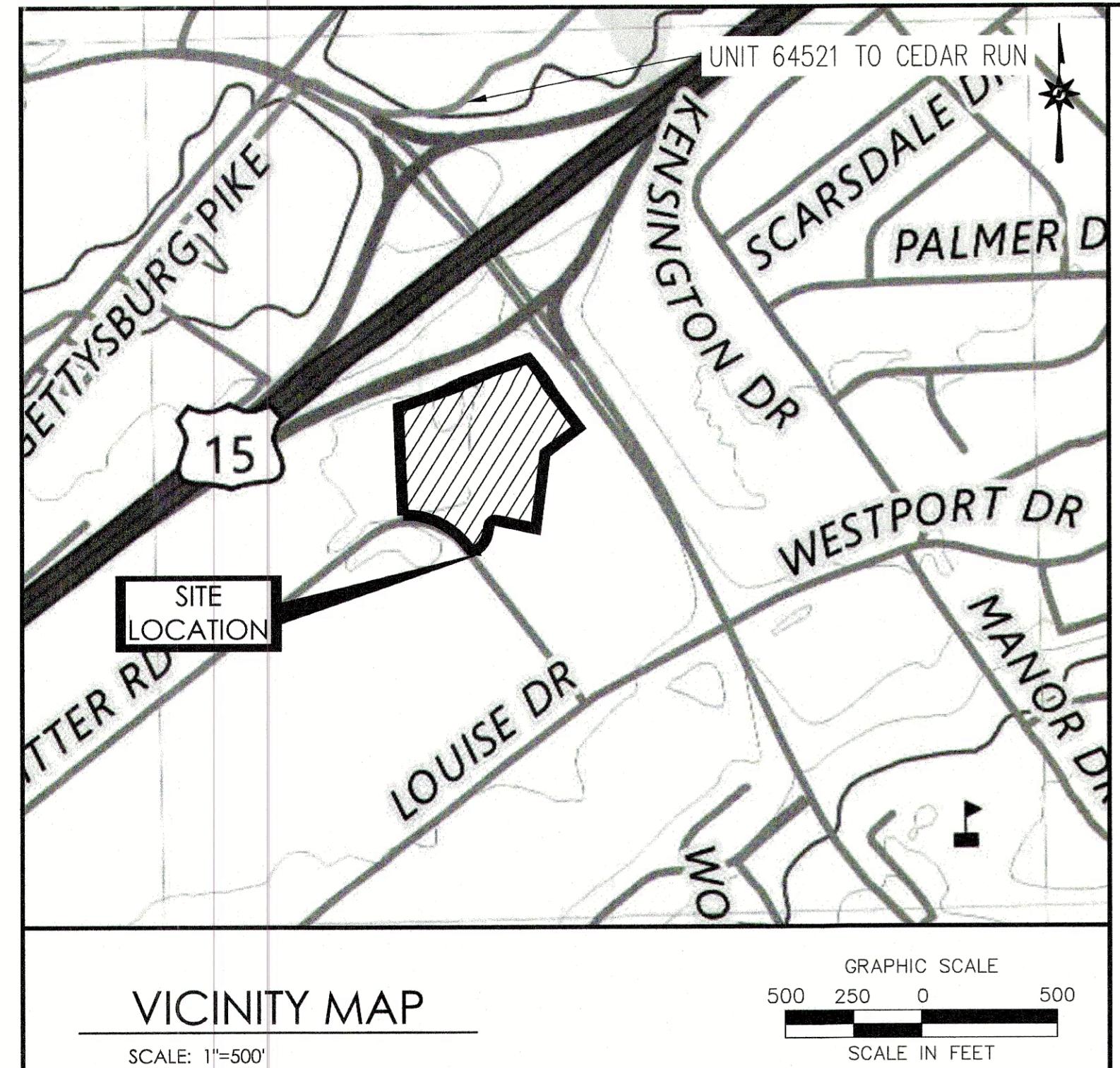


# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR TRU BY HILTON ROSSMOYNE BUSINESS CENTER



## ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20240652552 SUBMITTED ON 03/05/2024.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:  
PENNSYLVANIA AMERICAN WATER  
652 WESLEY DRIVE  
MECHANICSBURG, PA 17055  
CONTACT: JEFF DREW  
EMAIL: jeff.drew@amwater.com

LOWER ALLEN TOWNSHIP  
2233 GETTYSBURG ROAD  
CAMP HILL, PA 17011  
CONTACT: BRYCE THOMPSON  
EMAIL: bthompson@lhtwp.org

FRONTIER COMMUNICATIONS OF PA INC  
300E LARD STREET  
WILKES BARRE, PA 18702  
CONTACT: MICHAEL NAVICH  
EMAIL: michael.navich@fr.com

PPL ELECTRIC UTILITIES CORPORATION  
437 BLUE CHURCH ROAD  
PAXINOS, PA 17860  
CONTACT: DOUG HAUP  
EMAIL: dhaupt@pplweb.com

VERIZON PENNSYLVANIA LLC  
1026 HAY STREET  
PITTSBURGH, PA 15221  
CONTACT: DEBORAH BARUM  
EMAIL: deborah.d.bell@verizon.com

COMCAST CABLEVISION  
4601 SMITH ST  
HARRISBURG, PA 17109  
CONTACT: MICHAEL SWIEGARD  
EMAIL: mike\_swiegard@cable.comcast.com

LOWER ALLEN TOWNSHIP AUTHORITY  
120 LIMEXILIN ROAD  
NEW CUMBERLAND, PA 17070  
CONTACT: BRIAN KAUFMAN  
EMAIL: bkaufman@atwp.org

UGI UTILITIES INC  
1301 AIP DR  
MIDDLETON, PA 17057  
CONTACT: GEOFFREY FERGUSON  
EMAIL: gferguson@ugil.com

## Sheet List Table

- 1 G0.00 COVER SHEET
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- 3 V0.00 EXISTING NATURAL RESOURCE PLAN
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- 10 C2.00 GRADING AND DRAINAGE PLAN
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## PREPARED BY:



ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING

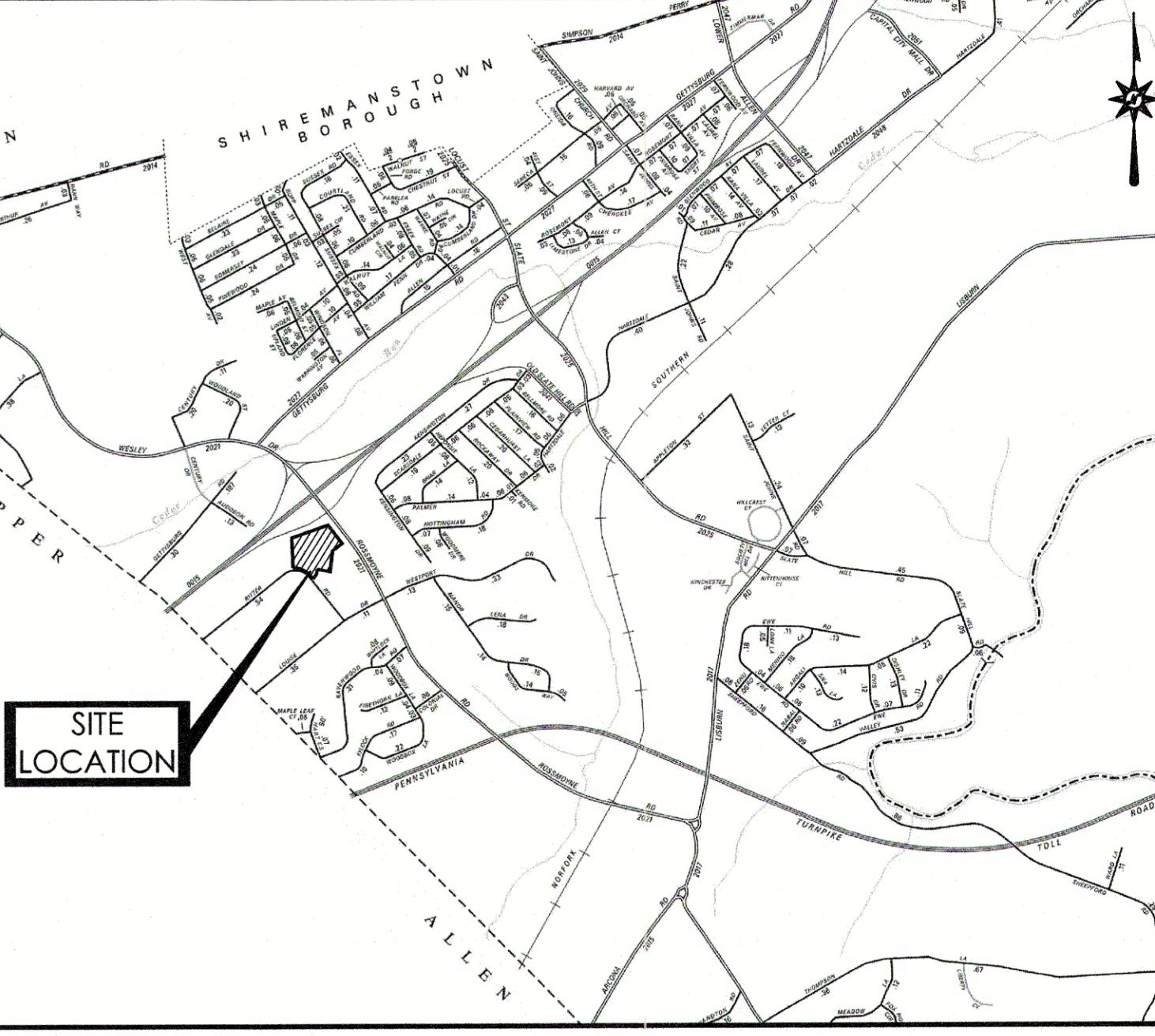
2601 MARKET PLACE, SUITE 350  
HARRISBURG, PA 17110  
(717) 651-9850  
(717) 651-9585 FAX

## PREPARED FOR:



An Affiliate of High Real Estate Group LLC

HIGH HOTELS, LTD  
1853 WILLIAM PENN WAY  
LANCASTER, PA 17605-0008  
(717) 209-4092  
(717) 209-4488 FAX



## LOCATION MAP

GRAPHIC SCALE  
2000 1000 0 2000  
SCALE IN FEET

## ACKNOWLEDGEMENT OF STORMWATER MANAGEMENT FACILITIES

I ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs TO BE PERMANENT FIXTURES CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY (SECTION 184-22.E.11)

## ACKNOWLEDGEMENT OF EROSION AND SEDIMENT POLLUTION CONTROL PLAN

I HEREBY CERTIFY THAT THERE WILL BE NO EARTH DISTURBANCE FOR CONSTRUCTION PURPOSES UNTIL AFTER FINAL PLAN APPROVAL FROM THE TOWNSHIP AND NPDES PERMIT APPROVAL FROM PADEP IS ACQUIRED.

## WAIVERS REQUESTED

	ACTION	DATE
THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE TOWNSHIP OF LOWER ALLEN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE :		
1. §192-30 A. - PRELIMINARY PLAN SUBMISSION	APPROVED	09/09/2024
2. §192-58.E(10) - PARKING LOT PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER	APPROVED	09/09/2024
3. §192-59 C.(2) - PARKING SPACES ADJACENT TO END ISLANDS SHALL BE AN ADDITIONAL 2' WIDTH	APPROVED	09/09/2024

## CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF Lancaster SS  
ON THIS, THE 10 DAY OF March, 2025 BEFORE ME, Jennifer L. Sets, THE UNDERSIGNED  
OFFICER, PERSONALLY APPEARED David Aungst, KNOWN TO ME (OR) SATISFACTORILY PROVEN  
TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND  
ACKNOWLEDGED THAT David Aungst EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBUTO  
SET MY HAND AND OFFICIAL SEAL

Commonwealth of Pennsylvania - Notary Seal  
Jennifer L. Sets, Notary Public  
Lancaster County  
My commission expires March 18, 2025  
Commission number 1248373  
Member, Pennsylvania Association of Notaries

## DEVELOPMENT SCHEDULE

LD APPROVAL	FALL 2024
BUILDING PERMIT	SPRING 2024
CONSTRUCTION START	SUMMER 2025
CONSTRUCTION END	FALL 2026

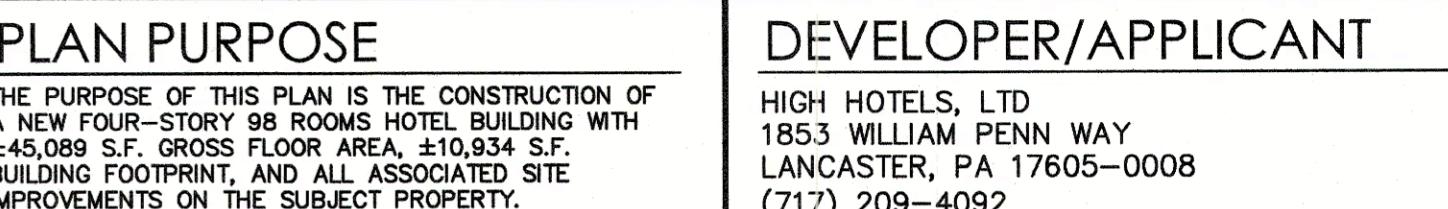
MY COMMISSION EXPIRES 3/18/2025

## PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS THE CONSTRUCTION OF A NEW FOUR-STORY 98 ROOMS HOTEL BUILDING WITH 34,689 S.F. GROSS FLOOR AREA, 10,935 S.F. BUILDING FOOTPRINT, AND ALL ASSOCIATED SITE IMPROVEMENTS ON THE SUBJECT PROPERTY.

## DATES

ISSUE DATE: JUNE 14, 2024  
LAST REVISED: JANUARY 09, 2025



DEVELOPER/APPLICANT  
HIGH HOTELS, LTD  
1853 WILLIAM PENN WAY  
LANCASTER, PA 17605-0008  
(717) 209-4092  
(717) 209-4488 FAX

G0.00 No. 1 of 20

## SITE WORK GENERAL NOTES

1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.

2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, HIGH HOTELS, LTD CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ADA STANDARDS AND REGULATIONS, AND APPROPRIATE REGULATORY STANDARDS AND SPECIFICATIONS. 2010 ADA STANDARDS AND STATE BUILDING CODE, IN THE ABOVE REFERENCED INCLUSIVE HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL STATE AND LOCAL REGULATIONS.

3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.

4. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.

6. CONTRACTOR SHALL SUBMIT AN AS-BUILT TOPOGRAPHIC SURVEY PREPARED AND STAMPED BY A LICENSED ENGINEER TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION. AS-BUILT SURVEY SHALL COMPLY WITH ALL NPDES NOTICE OF TERMINATION REQUIREMENTS, MUNICIPAL ORDINANCE REQUIREMENTS AND INCLUDE ALL SITE ELEMENTS, TOPOGRAPHY, STORM WATER MANAGEMENT FACILITY STRUCTURES/BASINS AND LANDSCAPE ELEMENTS.

7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT UNDERTAKE ANY SUCH DUTY OR RESPONSIBILITY.

8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.

9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SITE LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.

10. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA 811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY. THE CONTRACTOR SHALL NOT MARK OUT AND LOCATE WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.

11. A PA. ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 2024065252.

12. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.

13. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.

14. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.

15. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.

16. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

17. HIGH COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THESE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY AS A RESULT.

18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLEARED MAY BE DEEMED UNACCEPTABLE.

19. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

20. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMIT. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

21. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.

22. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.

23. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS, LANDINGS, AND RAMPS.

24. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THE AREA.

25. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

26. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE COVERING AGENCY IS GRANTED.

27. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.

28. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.

29. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.

30. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.

31. PAVEMENT MARKING KEY:

- 4" SYL 4" SOLID YELLOW DOUBLE LINE
- 4" SYL 4" SOLID YELLOW LINE
- 4" SWL 4" SOLID WHITE LINE
- 12" SWL 12" SOLID WHITE STOP BAR
- 4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE

32. PARKING SPACES SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.

33. ALL PAVEMENT MARKINGS, PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED.

34. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL NOT BE HOT THERMATIC.

35. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.

36. THE TOPOGRAPHY SURVEY AND PROPERTY BOUNDARY DATA IS BASED ON THE DRAWING TITLED "EXISTING CONDITIONS PLAN", SCALE 1"=40', DATED 04/09/2024, BY BISON

37. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.

38. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC WATER.

39. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC SEWER.

40. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.

41. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAPPING AND FIELD OBSERVATIONS.

42. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.

43. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.

44. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLE AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.

45. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.

46. THE CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.

47. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

48. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.

49. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.

50. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.

51. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.

52. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

53. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LEVEL OR AT THE CURB, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR AGREED ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THE PLAN. THE CONTRACTOR SHALL INVESTIGATE THE STREET TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.

54. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

55. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.

56. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL SITE BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.

57. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.

58. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY UTILITY PROVIDER. REMOVE EXISTING ON SITE WATER PIPING TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE UTILITY UTILITY PROVIDER.

59. EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NO-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.

60. DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.

61. THE CONTRACTOR SHALL DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.

62. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE MUNICIPAL BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.

63. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL, FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.

64. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE COMMONWEALTH AND PIPE/PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.

65. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE THE CABLE AND CONDUITS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECORDED OR REWIRED AS NECESSARY TO REMAIN IN OPERATOR.

66. NO WORK ON THE SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHALL BE ADVISED OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PENNSYLVANIA 811 MARK OUTS OF EXISTING UTILITIES PREPARED PRIOR TO MEETING.

67. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.

68. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.

69. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.

70. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.

71. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE PADEP AND HEALTH CODE REQUIREMENTS.

72. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.

73. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.

74. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.

75. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.

76. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.

77. VERTICAL DATUM IS NAV 88.

78. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT AGENT PRIOR TO THE START OF WORK ON THE SITE.

79. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SITING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP AND THE CIVIL ENGINEER AND EROSION AND SEDIMENTATION CONTROL CONTRACTOR SHALL ADDITIONAL CONSTRUCTION STABILITY REQUIRE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.

80. ALL SITE WORK MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.

81. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.

82. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

83. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY ARCHITECT AND/OR MEPC ENGINEER FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.

84. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AS PROPOSED. THE CONTRACTOR SHALL MARK THE EXISTING UTILITIES AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE EXISTING UTILITIES AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.

85. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.

86. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STAFF REVIEW FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.

87. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.

88. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.

89. ALL PIPES SHALL BE Laid ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.

90. SANITARY LATERAL SHALL MAINTAIN 10' MIN. HORIZONTAL 1.5' VERTICAL MIN. SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASTMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.

91. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.

92. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.

93. CONTRACTOR TO PROVIDE STEEL SLEEVES, OR APPROVED EQUAL IN ACCORDANCE WITH ARCHITECTURE PLANS, AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.

94. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEPC, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.

95. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.

96. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASTMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASTMENT OF THE PROPOSED PIPING.

97. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE Laid ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.

98. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.

99. MANHOLE RIMS AND CATCH BINS GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

100. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

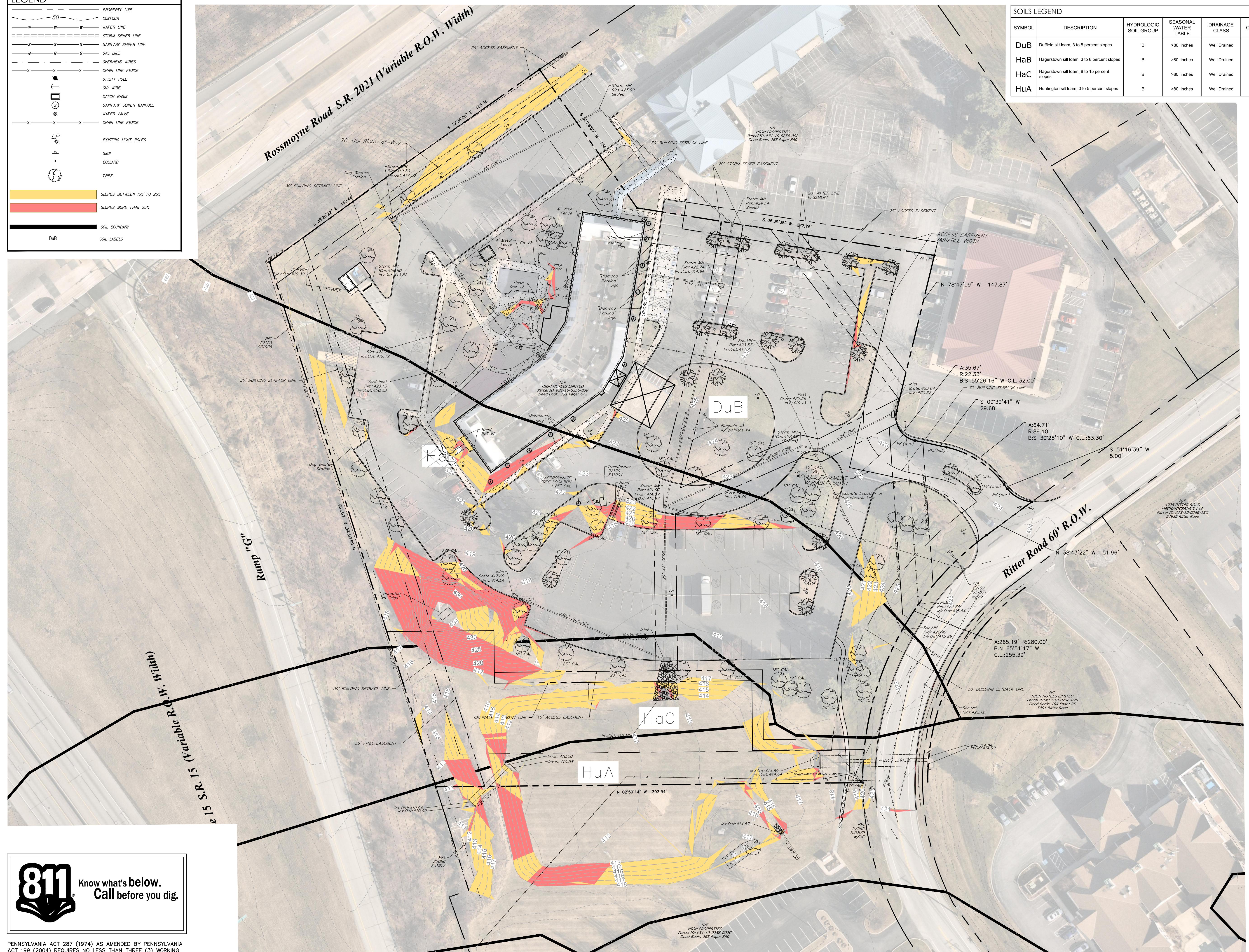
101. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

102. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.

103. ELECTRIC AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACC

LEGEND	
—	PROPERTY LINE
— 50 —	CONTOUR
— W — W — W —	WATER LINE
— S — S — S —	SANITARY SEWER LINE
— G — G — G —	GAS LINE
—	OVERHEAD WIRES
— X — X — X —	CHAIN LINE FENCE
—	UTILITY POLE
—	GUY WIRE
—	CATCH BASIN
—	SANITARY SEWER MANHOLE
— X — X — X —	CHAIN LINE FENCE
LP	EXISTING LIGHT POLES
—	SIGN
—	BOLLARD
—	TREE
—	SLOPES BETWEEN 15% TO 25%
—	SLOPES MORE THAN 25%
—	SOIL BOUNDARY
DuB	SOIL LABELS

SOILS LEGEND							
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP	SEASONAL WATER TABLE	DRAINAGE CLASS	LAND CAPABILITY CLASS	BEDROCK DEPTH	HYDRIC SOIL RATING
DuB	Duffield silt loam, 3 to 8 percent slopes	B	>80 inches	Well Drained	2e	60-80 inches	No
HaB	Hagerstown silt loam, 3 to 8 percent slopes	B	>80 inches	Well Drained	3w	43-88 inches	No
HaC	Hagerstown silt loam, 8 to 15 percent slopes	B	>80 inches	Well Drained	3e	43-88 inches	No
HuA	Huntington silt loam, 0 to 5 percent slopes	B	>80 inches	Well Drained	1	>80 inches	No



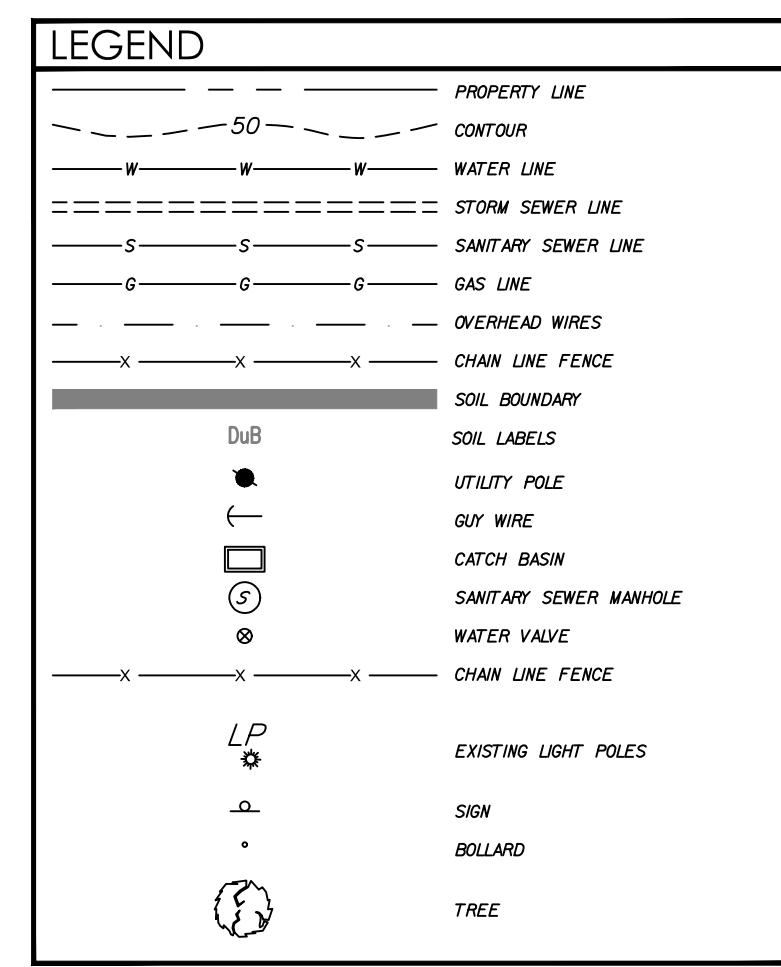
PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA  
ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING  
DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO  
PA ONE-CALL BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.  
PA ONE-CALL SERIAL NO. 20240652552

©2025 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

GRAPHIC SCALE  
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SCALE IN FEET

40 20 0 40  
SCALE IN FEET

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



## SCHEDULE B-2

FIDELITY NATIONAL TITLE INSURANCE COMPANY

Commitment Number 11853906

Effective Date June 30, 2024

**SCHEDULE "B" PART II EXCEPTIONS FROM COVERAGE**  
The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

NO COMMENT FOR EXCEPTIONS 1-5.

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears the first time in the Public Records or is created, attaches, or is disclosed by the Report Date and the date on which all of the Schedule B, Part I - Re却ire are met.

2. Rights or claims of parties in possession of the land not shown by the public records.

3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.

4. Easements, encroachments, overlaps, shortages of area, boundary line disputes, and other matters affecting title that an accurate and complete survey would disclose.

5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.

6. Reciprocal Easement Agreement set forth in Misc. Book 582, Page 13.  
AFFECTS PROPERTY AS PLOTTED.

7. Notes, conditions, setback lines, easements, reservations, covenants and restrictions shown and set forth in plans, recorded in Plan Book 50, Page 1, Plan Book 58, Plan Book 61, Plan Book 62, Plan Book 73, Page 22, and Instrument No. 200743576, but omitting any covenants or restrictions, if any, upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.  
DOES NOT AFFECT PROPERTY.

8. Declaration of Sign Easement set forth in Instrument No. 202410014.  
AFFECTS PROPERTY NOT PLOTTABLE.

9. Rights granted to Bell Telephone Company set forth in Misc. Book 347, Page 155; Misc. Book 70, Page 225; Misc. Book 70, Page 226; Misc. Book 364, Page 1; Misc. Book 390, Page 81 and Misc. Book 322, Page 226.  
AFFECTS PROPERTY. BLANKET IN NATURE. NOT PLOTTABLE.

10. Rights granted to Pennsylvania Power and Light Company set forth in Misc. Book 640, Page 107, Page 362; Misc. Book 479, Page 646; MISC. E 370, Page 890 and Misc. Book 403, Page 525. DOES NOT AFFECT PROPERTY.

11. Rights granted to Pennsylvania Power and Light Company and Bell Telephone Company set forth in Misc. Book 313, Page 111.  
AFFECTS PROPERTY. BLANKET IN NATURE. NOT PLOTTABLE.

12. Rights granted to Laurel Pipe Line Company set forth in Misc. Book 130, Page 102 and Releases in Misc. Book 334, Page 54 and Misc. Book 336, Page 1004.  
DOES NOT AFFECT PROPERTY.

13. Rights granted to Riverton Consolidated Water Company set forth in Misc. Book 1137 and Misc. Book 315, Page 294.  
DOES NOT AFFECT PROPERTY.

14. Amending Agreement with Allegheny Pipe Line Company set forth in Misc. Book 330, Page 546 and Misc. Book 330, Page 876.  
DOES NOT AFFECT PROPERTY.

15. Rights granted to Sinclair Refining Company set forth in Misc. Book 75, F 368 and Modification set forth in Misc. Book 106, Page 523.  
DOES NOT AFFECT PROPERTY.

16. Declaration of Protective Covenants set forth in Misc. Book 354, Page 57.  
AFFECTS PROPERTY. NOT PLOTTABLE.

17. Assignment of Right of Way to Allegheny Pipeline Company set forth in Misc. Book 161, Page 44.  
DOES NOT AFFECT PROPERTY.

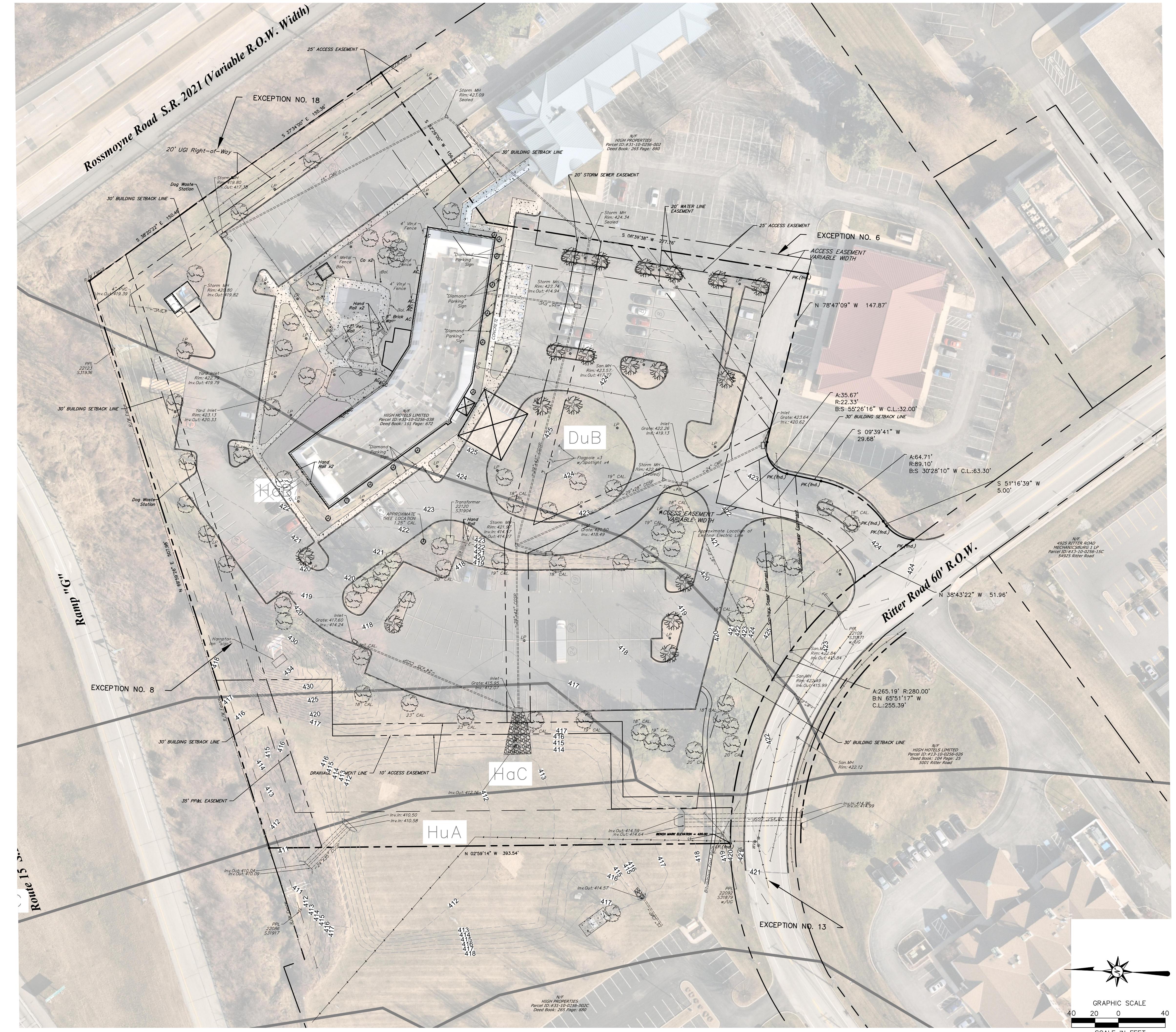
18. Rights granted to UGI Corp. set forth in Misc. Book 357, Page 263 and A Book 373, Page 518.  
AFFECTS PROPERTY AS PLOTTED.

19. Rights granted to Sammons Communications set forth in Misc. Book 375, F 355. AFFECTS PROPERTY. BLANKET IN NATURE NOT PLOTTABLE.

20. Declaration of Covenants and Restrictions set forth in Misc. Book 582, Page 13.  
DOES NOT AFFECT PROPERTY.



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AN NO MORE THAN (10) WORKING DAYS NOTICE TO TO EXCAVATE, DRILL, BLAST OR DEMOLISH.  
PA ONE-CALL SERIAL NO. 20240652552



## PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR TRU BY HILTON - ROSSMOYNE BUSINESS CENTER LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

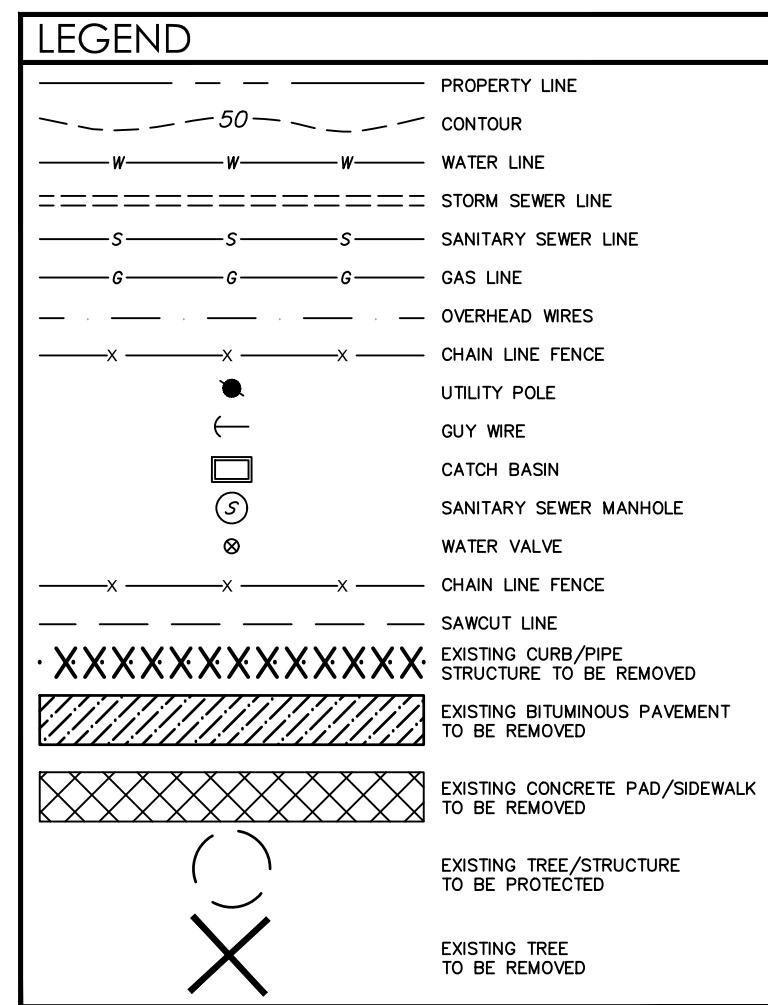
REVISIONS  
Date: 06/14/2024  
Desc: DRAFT COMMENTS  
PER OWNERSHIP COMMENTS  
FOR WATER COMPANY COMMENTS AND LOD SHIFT  
No.: 2 / 3  
06/09/2024  
06/09/2025

Designed: C.L.H.  
Drawn: N.M.  
Reviewed: G.J.H.  
Scale: 1" = 40'  
Project No.: 2400139  
Date: 06/14/2024  
CAD File: V2400139-01  
Title: EXISTING CONDITIONS PLAN

Sheet No.: 4 of 20

Graphic Scale: 40 20 0 40  
Scale in Feet  
V1.00  
No. 4 of 20

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



*N/F  
HIGH HOTELS LIMITED  
Parcel ID: #31-10-0256-038  
Deed Book: 191 Page: 672  
4950 Ritter Road*

# DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL MAINTAIN ACCESS TO AND AROUND THE EXISTING HOTEL ON SITE AT ALL TIMES DURING CONSTRUCTION.
2. CONTRACTOR SHALL PERFORM SUE TO FIELD LOCATE ALL EXISTING UTILITY SERVICES WITHIN THE PROJECT LIMITS OF DISTURBANCE PRIOR TO DEMOLITION ACTIVITIES. ANY CONFLICT WITH PROPOSED WORK SHALL BE IMMEDIATELY REPORTED TO OWNER AND ENGINEER TO COORDINATE RESOLUTION.



2601 Market Place, Suite 350  
Harrisburg, PA 17110  
(717) 651-9850



PRELIMINARY / FINAL  
LAND DEVELOPMENT PLAN  
FOR  
Y HILTON - ROSSMOYNE BUSINESS CENTER

# RUBI NATION - ROSSMINGTON BUSINESS CENTER LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

No.	Desc.	Date	Comments
1	PER TOWNSHIP COMMENTS	07/17/2024	PER TOWNSHIP COMMENTS
2	PER TOWNSHIP COMMENTS	08/29/2024	PER WATER COMPANY COMMENTS AND LOD SHIFT
3	PER WATER COMPANY COMMENTS AND LOD SHIFT	01/09/2025	

# DEMOLITION PLAN

sheet No.

c0.01

No. 5 of 20

EXISTING LIGHT POLE AND FOUNDATION TO BE REMOVED. REWIRE OR RECIRCUIT LIGHTING TO REMAIN TO MAINTAIN SITE LIGHTING SERVICE CONNECTION (TYP.)

EXISTING TREES TO BE REMOVED (TYP.)

BEGIN CURB REMOVAL

EXISTING LIGHT POLE AND FOUNDATION TO BE REMOVED

EXISTING INLET TO BE REMOVED

EXISTING STORMWATER PIPES AND STRUCTURES TO BE REMOVED

EXISTING LIGHT POLE AND FOUNDATION TO BE REMOVED

EXISTING INLET TO BE REMOVED

EXISTING RIPRAP AND END WALL TO BE REMOVED

EXISTING SANITARY SEWER STRUCTURE AND PIPES TO BE PROTECTED (TYP.)

EXISTING ASPHALT SIDEWALK TO BE REMOVED

EXISTING CURB TO BE REMOVED

EXISTING PAVEMENT TO BE REMOVED

EXISTING TREES TO BE REMOVED (TYP.)

EXISTING ELECTRIC LINE TO BE FIELD LOCATED AND PROTECTED

EXISTING CURB TO BE REMOVED

EXISTING PAVEMENT TO BE REMOVED

PROPOSED ROCK CONSTRUCTION ENTRANCE

SAWCUT LINE (TYP.)

36' Ritter Road Cartway

5' PARKING SPACE SETBACK LINE

30' BUILDING SETBACK LINE

35' PPL EASEMENT

10' ACCESS EASEMENT

10' Access Easement

36' X 57' Cartway

Inv.In: 414.96  
Inv.In: 414.99

Inv.In: 410.50  
Inv.In: 410.58

Inv.Out: 412.16

Inv.Out: 414.59  
Inv.Out: 414.64

BENCH MARK ELEVATION = 420.00

WV

Split Walkway

Closest Existing Fire Hydrant  
Next Closest Hydrant is approximately 400 ft SE

811 Know what's below.  
Call before you dig.

Ritter

A:265.19' R:280.00'  
B:N 65°51'17" W  
C.L.:255.39'

PPL 22109  
S.31871  
W/UG

Hand 420' 19" CAL

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PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552

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A horizontal graphic scale with a central zero point. The scale is marked at intervals of 10 units, with '20' at the far left, '10' to its right, '0' at the center, and '20' at the far right. Below the scale, the text 'SCALE IN FEET' is printed in capital letters.

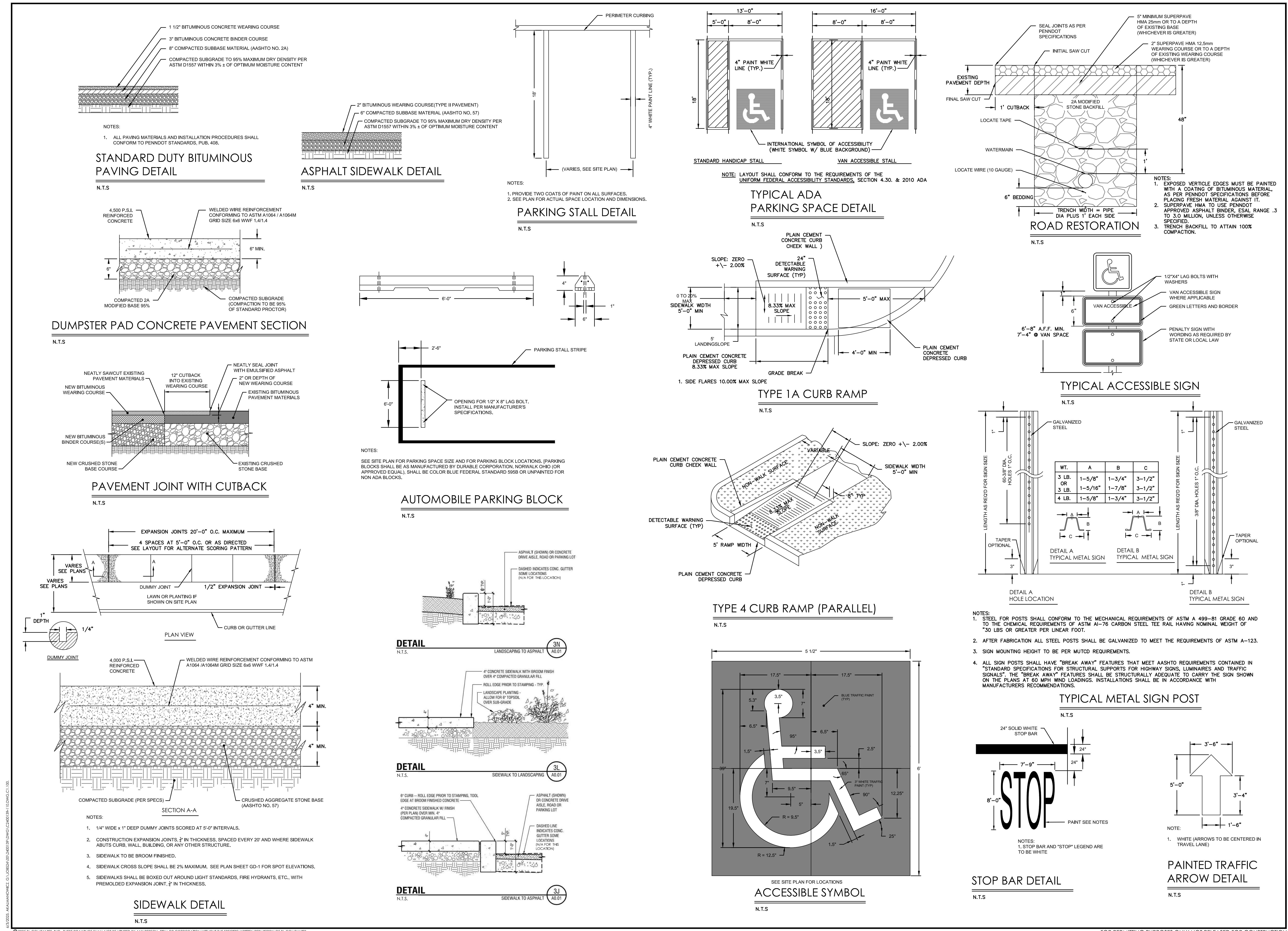
No. 5 of 20

## ANSWER

PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION







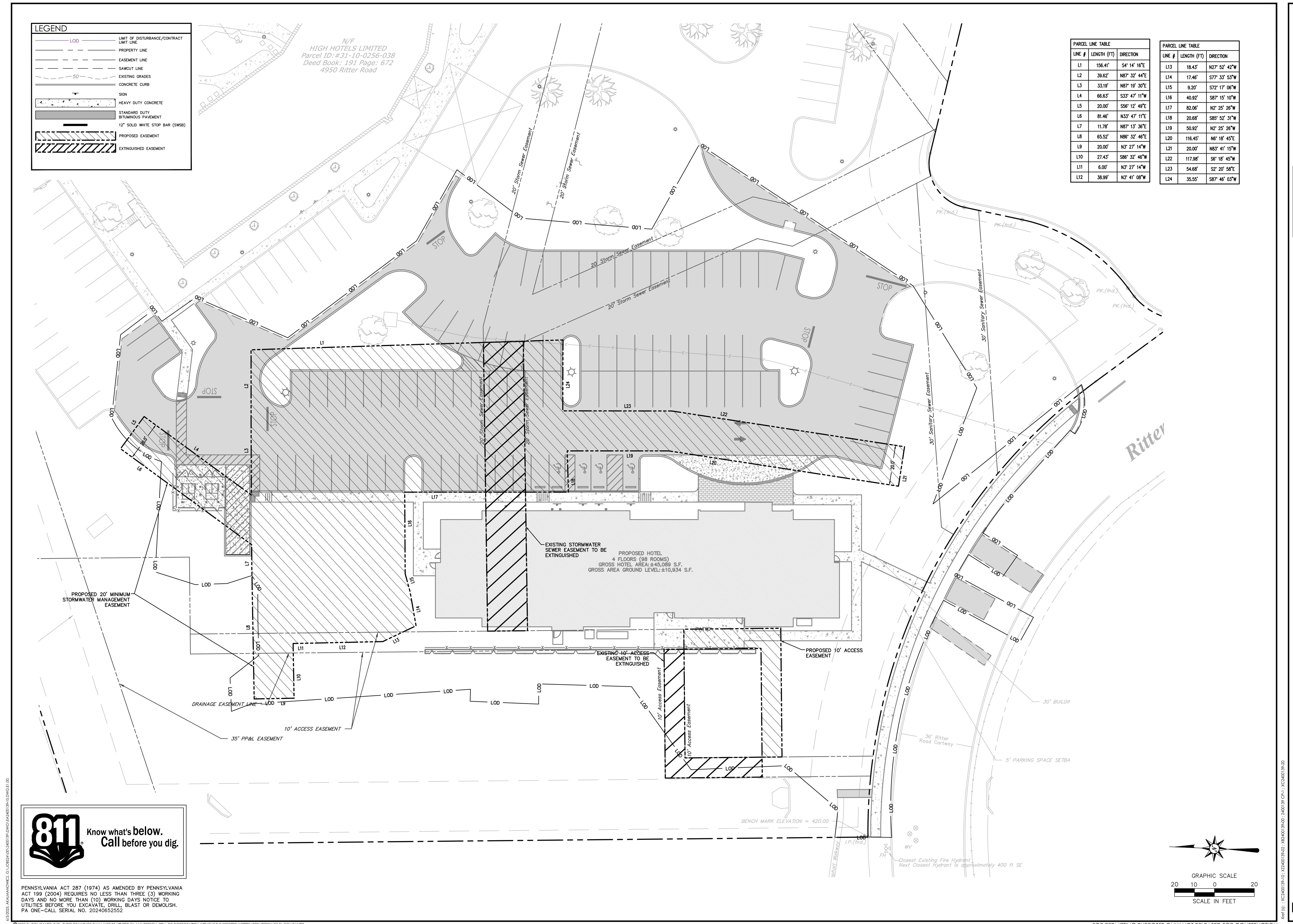
















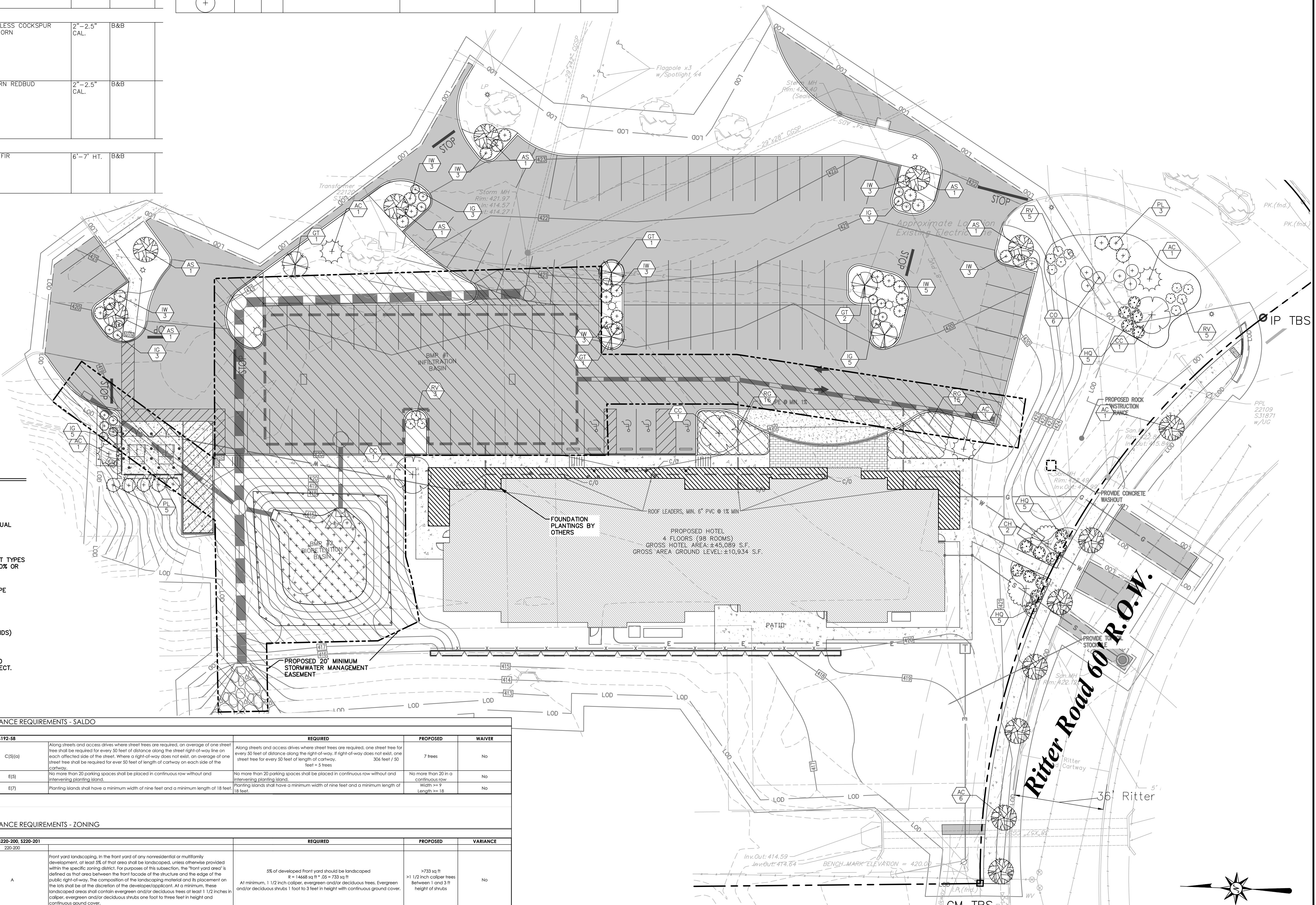


SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>TREES</b>						
	AS	6	ACER SACCHARUM	SUGAR MAPLE	6'-7' HT.	B&B
	AC	7	ACER CAMPESTRE EVELYN	HEDGE MAPLE	6'-7' HT.	B&B
	GT	5	GLEDTISIA TRIACANTHOS	SHADEMASTER HONEYLOCUST	8'-10' HT.	B&B
<b>FLOWERING TREES</b>						
	CH	2	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN	2"-2.5" CAL.	B&B
	CC	3	CERCIS CANADENSIS	EASTERN REDBUD	2"-2.5" CAL.	B&B
<b>EVERGREEN TREES</b>						
	AC	4	ABIES CONCOLOR	WHITE FIR	6'-7' HT.	B&B

GROUNDCOVER		RG	31	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL	CONT.	60° o.c.
PL	8	PRUNUS LAUROCERASUS		CHERRY LAUREL	3 GAL	CONT.		
IW	26	ILEX VERTICILLATA		WINTERBERRY	3 GAL	CONT.		
HQ	15	HYDRANGEA QUERCIFOLIA		OAKLEAF HYDRANGEA	5 GAL	CONT.		
RV	13	RHODODENDRON VISCOSUM		SWAMP AZALEA	3 GAL	CONT.		
IG	19	ILEX GLABRA		INKBERRY HOLLY	3 GAL	CONT.		
CO	6	CEPHALANTHUS OCCIDENTALIS		BUTTONBUSH	3 GAL	B&B		

**NOTES:**

- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
- 4) ALL DISTURBED AREA TO BE SEADED BY CONSERVATION SEED MIX, UNLESS OTHERWISE SPECIFIED.



REVISIONS  
Date: 06/14/2024  
Desc: DRAFT COMMENTS  
PER TOWNSHIP COMMENTS  
FOR WATER COMPANY COMMENTS  
FOR WEA COMMENTS AND LOD SHIFT  
No: 1 2 3  
1 2 3  
07/09/2024  
07/09/2025  
07/09/2025

Designed: C.L.H.  
Drawn: N.M.  
Reviewed: G.J.H.  
Scale: 1" = 20'  
Project No.: 2400139  
Date: 06/14/2024  
CAD File: C2400139-50  
Title:

**LANDSCAPING PLAN**

Sheet No.:

**C5.00**

No. 18 of 20



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO EXCAVATE BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 2024065252

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## LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE OTHER PLANS FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER FULL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED IN THE PLANTING PLAN. PLANTING REQUIREMENTS SHALL BE MET AS SPECIFIED IN THE PLANTING PLAN. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE RED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRaining, PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. TOP SOIL PRESERVATION. ALL OF THE TOP SOIL FROM AREAS WHERE CUTS AND FILLS HAVE BEEN MADE SHOULD BE STOCKPILED AND REDISTRIBUTED UNIFORMLY AFTER GRADING.
13. ALL AREAS OF THE SITE SHALL BE STABILIZED BY SEEDING OR PLANTING ON SLOPES OF LESS THAN TEN (10) PERCENT, AND SHALL BE STABILIZED BY SODDING ON SLOPES 10% OR MORE, AND PLANTED IN GROUND COVER ON SLOPES 20% OR GREATER.
14. PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,Al,Fe) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS OR AMENDED ON-SITE SOILS MEETING THE FOLLOWING CRITERIA:

  - A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLOUDS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WOODS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
  - B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

    - ORGANIC CONTENT 3% - 6% FOR LAWN OR GRASS AREAS.
    - 4% - 8% FOR TREE AND SHRUB PLANTERS.
    - 8% - 16% FOR RETENTION OR DETENTION BASINS.
    - (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)

PH 6.0 - 7.3

C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.

D. SOIL SHALL BE COMPACTED TO A MAXIMUM PENETRATION OF 75-125 LBS/SQIN.

E. PLANTS SHALL BE TREATED FOR PESTS AND DISEASES AND USE PEST-SPECIFIC HERBICIDES AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF TEXAS, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.

F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:

  - LOAM
  - SANDY LOAM WHERE SAND DOES NOT EXCEED 20% AND CLAY IS NOT LESS THAN 5%
  - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%

G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:

  - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
  - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.

H. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. PLANTS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT. PLANTS SHALL BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES ON VARIETY, AND THEY SHALL BE HEALTHY, SYNTOM-FREE, ERECT AND DENSELY BRANCHED, AND FREE OF DISEASE AND PESTS. ALL PLANTS SHALL BE SHIPPED IN A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC RECORDS OF PLANT MATERIALS AS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANT'S QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

SPRING APRIL 1 TO MAY 15

FALL SEPTEMBER 1 TO NOVEMBER 15

PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEDED WITH THE LAWN SEED MIX.

20. ALL SHADE TREE, BUFFER YARD AND OTHER LANDSCAPING REQUIRED BY LOCAL ORDINANCE OR ZONING REQUIREMENT THAT DIES, IS REMOVED, OR IS SEVERELY DAMAGED SHALL BE REPLACED BY THE CURRENT PROPERTY OWNER AS SOON AS IS PRACTICAL CONSIDERING GROWING SEASONS, WITH A MAXIMUM OF 180 DAYS.

21. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

22. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

23. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

24. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

25. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

26. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

27. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

28. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

29. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

30. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

31. PLANTING SOIL: 12" MIN. OR DEPTH OR ROOT BALL. CUT BURLAP FROM TOP 1/3 OF ROOT BALL. SHRUB PIT FACE 1:1 SLOPE. SCARIFY GLAZED SIDES OR HARDENED SURFACES PRIOR TO PLANT INSTALLATION.

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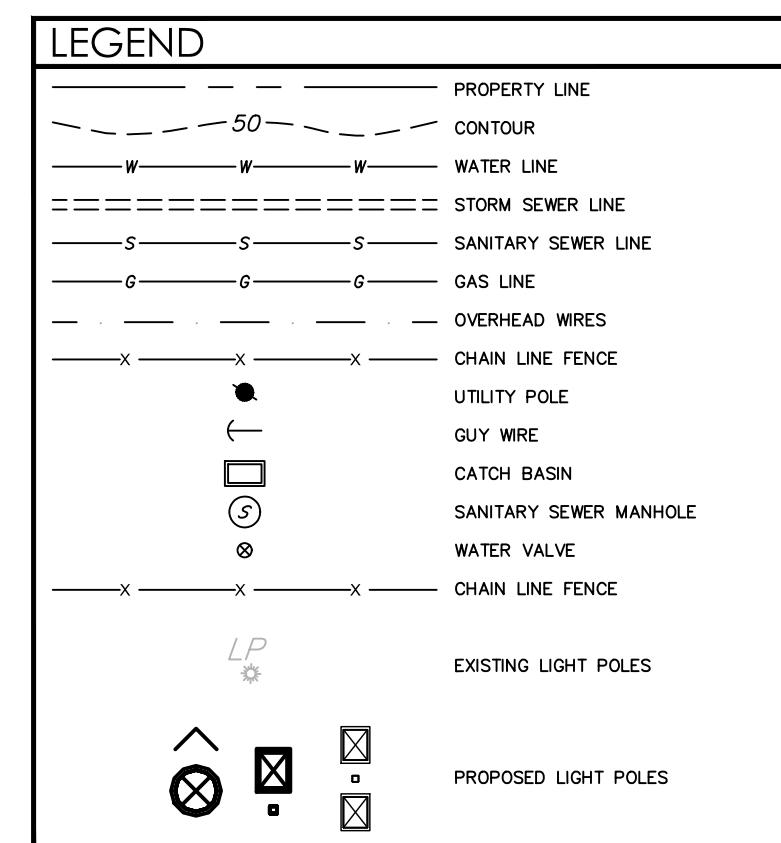
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78. PLANTING SOIL



**N/F HIGH HOTELS LIMITED**  
Parcel ID: #31-10-0256-038  
Deed Book: 191 Page: 672  
4950 Ritter Road

**Proposed Hotel:**  
4 FLOORS (98 ROOMS)  
GROSS HOTEL AREA: ±45,089 S.F.  
GROSS AREA GROUND LEVEL: ±10,934 S.F.

**SEE ASMEP PLAN FOR PATIO AREA LIGHTING**

**Schedule**

Symbol	Label	QTY	Catalog Number	Description
◻	A	2	BECSxA-FGF-T5-P150-40K	Tribeca
◻	B	1	BECSxA-FGF-T5-P150-40K	Tribeca
◇	C	2	WAE3 P70 40K XXXX GL5 BD	Washington Glass LED III, P70 40K Performance Package, 4000K, Bud Finial

**Light Level Illuminance Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg
SITE CALCULATIONS	+	0.7 fc	32.8 fc	0.0 fc	N/A	N/A
PARKING LOT CALCULATIONS	*	3.1 fc	32.8 fc	0.2 fc	164.0:1	15



**HOLOPHANE®**  
LEADER IN LIGHTING SOLUTIONS

Catalog Number		
Notes	Type	

## WAE3

Washington Postlite LED3 Series

### SPECIFICATIONS

#### General Description

The Washington Postlite LED 3 Utility is styled to replicate the acorn luminaires that lighted streets in the first half of the 20th century. Designed for superior light control, ease of installation, and maintenance, the Washington Postlite has a precision prismatic glass optical system for true street lighting performance as well as beauty. The large acorn-shaped luminaire, contains a powerful, stalk-mounted Chip-On-Board, LED platform with a precision optical system that maximizes post spacings while maintaining uniform illumination.

#### Mechanical Specifications

The luminaire housing shall:

- Be heavy grade A360 cast aluminum (aluminum with <1% copper)
- The glass optic is bolted onto a gasketed top housing plate, using three stainless steel bolts that form an IP66 seal of the optical assembly.
- The housing provides an enclosure for a plug-in electrical module
- The housing accepts 3" high by 2-7/8" to 3-1/8" O.D. pole tenon and offers stainless steel set screws to securely fasten the luminaire to the pole tenon

Available in three styles:

- MS Housing: Fluted decorative housing with hinge-door, tool-less entry
- EN Housing: Leaf-styled decorative housing with hinge-door, tool-less entry
- STS Housing: Leaf-styled decorative housing with pop-off door

The finish shall:

- Utilize a polyester power coat paint to ensure maximum durability
- Rigorous multi-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117) on standard and RAL finish options.
- RAL (RALxxxSDCR) paint colors are Super Durable Corrosion Resistant, 80% gloss.

#### Electrical Specifications

The driver shall meet the following requirements:

- Certified by UL or CSA for wet locations
- A programmable electronic driver with 0-10V dimming control leads
- LEDs shall have a minimum of 70 CRI and available in 2700K, 3000K, 4000K, and 5000K CCT
- The electrical system shall be designed to meet ANSI/IEEE C62.41.2 and shall offer a 10kV/5kA surge protection, fail off, as standard with an upgradeable 20kV/10kA surge protection, fail off with indicator light, option
- Lumen output can be customized prior to manufacturing by way of FPDx Options
- The electrical components are mounted on an aluminum plate that is removable with minimum use of tools. A matching five conductor plug connects to the receptacle in the luminaire housing to complete the wiring. For photoelectric operation, the electrical module is provided with an EEI-NEMA twist-lock photocell receptacle.

#### Optical Specifications

The optical system is IP66 rated and consists of a precisely molded thermal resistant borosilicate glass refractor and top reflector mounted within various decorative ribs and banding configurations. The top reflector redirects over 50% of the upward light into the controlling refractor while allowing a soft up-light component to define the traditional acorn shape of the luminaire. The lower refractor uses precisely molded prisms to maximize pole spacings while maintaining uniform illumination. Two refractors are available, designed for IES type III and V distributions. Lunar Optics shielding is available for asymmetric and symmetric distributions.

#### Control Options

The control options shall include, but not limited to, the following:

- Field adjustable output to adjust output to PCL1, P34 and P48+ AO
- Long life photocontrol, 20 years – PCL1, P34 and P48+ DTI
- 3 and 7 pin receptacles internally in housing (PR3, PR7) or inside glass mounted (PR7E)
- nLight Air S80R6 outdoor fixture-mounted motion and photo-sensor, features a dual radio to communicate wirelessly to other nLight Air devices for group response to motion, on/off control in response to daylight and by switch, RS80R6
- Fixture embedded nLight Air network interface for individual fixture control and dimming, NLTAIR2

#### Certification and Standards

- Luminaire shall be UL or CSA
- Suitable for operation in an ambient temperature up to 40°C / 105°F per UL or CSA certification
- LM79 compliant
- DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check with the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

#### BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

#### Warranty – 5 Years Limited

Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.

**AcuityBrands**

Holophane | 3825 Columbus Rd., Glastonbury, OH 43023 | Phone: 866-HOLOPHANE | [www.holophane.com](http://www.holophane.com)

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WAE3

Page 1 of 8

## cyclone

Project:  
ity:

Luminaire:

Order:  
Type:

EPA: 0.83 ft²    Weight: 41.5 lbs / 18.8 kg

**Hood Module:** Rectangular shaped, made from injection molded A360 aluminum, mechanically attached to the head module.

**Head Module:** Rectangular shaped, made from injection molded A360 aluminum, equipped with adjustment steps to facilitate the luminaire leveling by +/- 5°. The module is designed to be installed on a horizontal tenon of 1.66" (4.2cm) Ø to 1.9" (4.8cm) Ø for the BECS1A and on a tenon of 2 3/8" (6cm) Ø for the BECS2A by 6" (15.2cm) long, with two (2) stainless steel brackets, mechanically retained by four (4) 3/8-16 UNC stainless steel bolts. Also equipped with a European style connection terminal bloc for 6 to 18 AWG wires, mechanically installed inside.

**Door Module:** Rectangular shaped, made from injection molded A360 aluminum with an integrated hinge. A long rectangular push button allows the opening and access to the components inside the luminaire. The certification, maintenance and luminaire code labels are located on the back of the door.

**Optical Module:** The Orion LED optical engine with 54 LEDs or 108 LEDs board, provides performance packages ranging from P30 to P150 with a CCT of 30K or 40K and is mechanically assembled to the optical module. The heat sink / optical module made from injection molded A360 aluminum is included into the head and is optimized to minimize the LEDs operating temperature, increasing their longevity and efficiency. A choice of a tempered clear flat glass lens (FGC) or tempered frosted flat glass lens (FGF) are available and attached underneath the optical module to an injection molded A360 aluminum frame. A no lens option is also available. The lifetime of the LEDs is 100,000 hours. It is based on the LM-80 test and extrapolated with TM-21. This data is calculated when 50% of the LEDs produce 70% of their initial luminous flux (L70). The minimum color rendering index (CRI) is 70. The Orion's optical acrylic lens are designed to illuminate only where needed while achieving excellent uniformity with maximum spacing. The optical acrylic lenses are sealed on the LED board. Produces 0% uplight. The light distribution types available are T1, T1A, T1AHS, T2, T2HS, T2M, T2MHS, T3, T3M, T3HS, T4, T4HS, T5. The combination of two distribution types (Backward optic) is also available in the same optical module.

**Driver Module:** The 120-480VAC self-adjustable Class 2 power supply is mechanically attached to the heat sink and is replaceable without tools. Primary tension is of 120-480VAC Volts, 50/60Hz, THD max 20% with a high-power factor of 90%. Operating temperature is -40°F (-40°C) to 130°F (55°C), ROHS compliant. Assembled with pull-out connectors. Complete with 10kV/5kA tripolar surge protection for live-MALT, live-neutral and neutral-MALT lines according to IEEE/ANSI C62.41 2002 C norm and neutral-MALT according to ANSI C82.77-5-2 norm. The regulator offers an output of 0-10 Volts. (DIM option required)

**Wiring / Hardware:** Type TEWT 14-7. 12" (30.5cm) minimum exceeding from luminaire. All electrical connections between the modules are provided with quick-disconnect connectors for easy maintenance. All hardware is made of 304 stainless steel.

**Color:** All Cyclone colors are available in textured (TX) or smooth (SM) finish. A durable polyester powder coating is applied and meets the AAMA 2604 requirements (5 years exposure to all weather conditions). The finish meets the ASTM G7, B117, D1654 and D2247 requirements relative to salt spray and humidity resistance. **Cyclone recommends the textured finish for this product.**

**Warranty:** 5-year limited warranty. Complete warranty terms located at: [www.cyclonelighting.com/assets/Legal/Cyclone-Sales-TermsConditions-en.pdf](http://www.cyclonelighting.com/assets/Legal/Cyclone-Sales-TermsConditions-en.pdf)

Stamp/Approval:

Date:

Name:

Page 1 of 2

Date:

Name:

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Date:

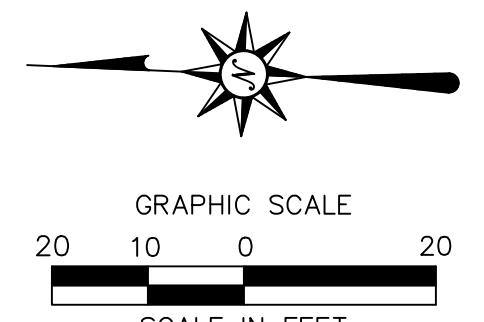
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Xref (s): : XC2400139-10 ; XB2400139-00 ; XZ2400139-02 ; XC2400139-40 ; XC2400139-30 ; XC2400139-20		
REVISIONS		
No.	Date	Desc.
1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS
3	01/09/2025	PER WATER COMPANY COMMENTS AND
Designed	C.L.H.	
Drawn	N.M.	
Reviewed	G.J.H.	
Scale	1" = 20'	
Project No.	2400139	
Date	06/14/2024	
CAD File:	C2400139-60	
Title		
<b>LIGHTING PLAN</b>		
Sheet No.		
<b>C6.00</b>		
<b>No. 20 of 20</b>		



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20240652552

Note	<p>Acuity Brands Lighting Inc. This document contains confidential and proprietary information of Acuity Brands Lighting. This document may only be used by or for the benefit of Acuity Brands Lighting's representatives and Customers.</p> <p>This application design is not a professional engineering drawing and the design, including reported data and calculated results, is provided for informational purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations made using Visual lighting applications software, photometric/radiometric data measured in a laboratory, and certain computational and modeling assumptions.</p> <p>Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is generally not representative of near-field geometric conditions. When using the far-field photometric/radiometric data, the Visual software applies certain generalizing assumptions to approximate near-field performance. These assumptions may result in significant inaccuracies in individual calculated luminous and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point.</p> <p>The modeling of radiant flux exchange used in the Visual software requires a uniform exitance across each reflecting surface. The Visual software approximates the uniform surface exitance condition by adaptively subdividing surfaces with non-uniform exitance into subsurfaces with sufficiently uniform exitance gradients. Practical restrictions, due to computer hardware limitations, may prevent the subdivision procedure from subdividing surfaces with high exitance gradients into subsurfaces with sufficiently uniform exitance gradients, introducing potential discretization error into the calculated values.</p> <p>Calculations performed by Visual software assume that all reflected flux is reflected in a perfectly diffuse (Lambertian) and spectrally uniform manner across the spectral range being analyzed. If actual reflectance characteristics differ from these assumptions, observed luminous and/or radiant power quantities may differ from the predicted quantities.</p> <p>As a result of the computational limitations and simplifying modeling assumptions described above, and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiation dose calculation may be adversely affected.</p> <p>In addition, the accuracy of the application design may be adversely affected if information about the physical space provided to Acuity Brands Lighting is incomplete, inaccurate, outdated or not in the required format (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications) if incorrect assumptions are made because such are not appropriate for the space. Furthermore, actual field performance may differ from performance calculated using laboratory measurement as a result of miscalculations related to deficiencies in the information provided about the physical space, degradation factors in the end-user environment (including, but not limited to, voltage variation and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and/or depreciation in lamp radiant intensity may result in performance over time that differs from performance calculated using a new lamp. Light loss factors may have been used in the application design to estimate such depreciation, but flaws in these estimates may also result in performance over time that differ from the calculated performance.</p> <p>It is the obligation of the end-user to consult with appropriately qualified Professional Engineer(s) to determine whether this application design meets the applicable requirements for performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this design.</p>
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GRAPHIC SCALE

20      10      0      20

SCALE IN FEET

PRELIMINARY / FINAL  
LAND DEVELOPMENT PLAN  
FOR  
TRU BY HILTON - ROSSMOYNE BUSINESS CENTER  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

<hr/>		
REVISIONS		
No.	Date	Desc.
1	07/17/2024	PER TOWNSHIP COMMENTS
2	08/29/2024	PER TOWNSHIP COMMENTS
3	01/09/2025	PER WATER COMPANY COMMENTS AND LOD SHIFT
<hr/>		
Designed	C.L.H.	
Drawn	N.M.	
Reviewed	G.J.H.	
Scale	1" = 20'	
Project No.	2400139-20	
Date	06/14/2024	
CAD File:	C2400139-60	
<hr/>		
Title		
<b>LIGHTING PLAN</b>		
<hr/>		
Sheet No.		
<b>C6.00</b>		
<b>No. 20 of 2</b>		



